

# **Neighborhood Character & Zoning Initiative Implementation**



# **Kick-Off Meeting Agenda**

## **January 19, 2018**

- 1. Introduction**
- 2. Overview of Work Plan – Tasks & Schedule**
- 3. Zoning Districts & Volume, Bulk, Massing; Use & Density Controls to be Addressed**
- 4. Review Preliminary Neighborhood Characteristics with Typical Lot Conditions & Recently Approved Plans by District**
- 5. Next Steps**



# Introduction



# Overview of Work Plan Tasks & Schedule

## Task 1 – Analysis of Existing Work Product & Buildings

- Review Recommendations / Initial Analysis
- Meeting #1 (Introduction)
- Review Ordinances / Finalize Analysis
- Meeting #2 (Progress)

January, 2018

February, 2018

## Task 2 – Analysis of Existing Work Product and Buildings

### Phase 1 - Volume/Bulk/Massing Controls

- Prepare Draft Provisions
- Workshop Meeting #3 (Progress)
- Review draft ordinances

March, 2018

### Phase 2 - Use & Density Controls

- Prepare draft provisions
- Workshop Meeting #4 (Progress)
- Review draft ordinances

TBD, 2018

## Task 3 – Public Meetings

- Planning Board Meeting(s)
- Council Meeting(s)

TBD, 2018

TBD, 2018

## Task 4 – 3D Models

- Performed during Tasks 1 & 2



# **Zoning Districts & Volume, Bulk, Massing; Use & Density Controls to be Addressed**



# **Volume/Bulk/Massing Controls**

## **Building Height (applicable to all zoning districts)**

- Actual building height
- Number of stories (including applying to former Township zoning districts)
- Height to setback ratio



# **Volume/Bulk/Massing Controls**

## **Grading (applicable to all zoning districts)**

- **Definition/calculation of existing and finished grade**
- **Limitations on mounding and/or filling**
- **Distance between top of finished floor on ground level and adjacent grade**
- **Distance that foundation/basement may extend above grade**
- **Specific provisions for lots at elevations above or below the grade of the adjacent street**



# Volume/Bulk/Massing Controls

Massing (provisions to be applicable only to lots of ½-acre or less located in former Township R-5, R-6, R-7, R-8, R-9 & R-H zoning districts & in all former Borough zoning districts)

- Permitted width of the front façade
- Establish primary massing ("main body")
- Establish "step back" provisions to guide secondary massing ("wings")
- Limiting massing & height permitted above garages
- Explore a "streetscape zone" along the front of the building envelope which could more strictly limits building height/massing at the front of the house
- Explore where portions of the building which could be limited to one (1) story in height



# Volume/Bulk/Massing Controls

## Garages

- Type and form of garage, including carports and porte-cochère
- Location and directional orientation of garage in relation to accessibility from street
- Number, location and width of driveways



# Volume/Bulk/Massing Controls

## Coverage

- Building coverage requirements
- Coverage provisions related to type/location of driveway and garage (e.g., attached garage, semi-attached garage, detached garage, carports and porte-cochere)
- Impervious coverage requirements including materials considered to be pervious/impervious & incentives for using high-quality design treatments / pervious materials
- Accessory structure requirements (i.e., A/C units)



# Volume/Bulk/Massing Controls

## Landscaping

- Shade (street) tree requirements along public rights-of-way
- Trees within front yard areas
- Foundation plantings
- HVAC and refuse screening



# **Use & Density Controls**

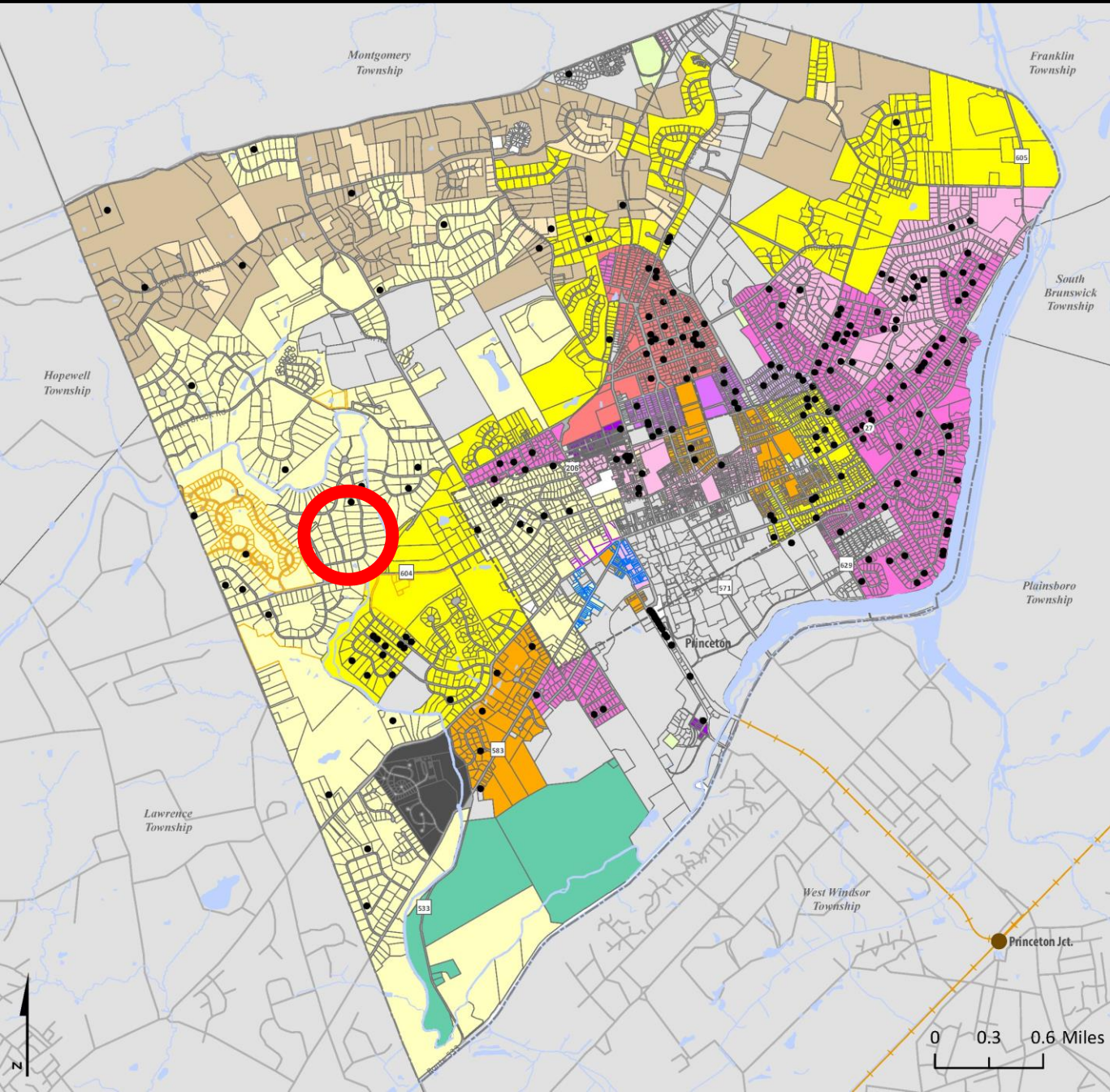
- **Broaden definition of accessory apartment and two-family dwellings**
- **Design standards for attached and detached accessory apartments and two-family dwellings**



# **Review Preliminary Neighborhood Characteristics with Typical Lot Conditions & Recently Approved Plans by District**



# Township Zoning – R-1 District



## Legend

### Township Zoning

Non-Resi
R1
R104; R190
R1AH
R1R2
R2
R2AH
R3
R4
R5
R6
R7
R8
R9
RA; RAB; RAOR
RB; RBOR
RH/8; RH/12
RHFW
RM
Railroad

### Borough Zoning

Non-Resi
R01P
R1
R1HP
R1MP
R2
R3
R3JP
R3MP
R4
R4MP
R5
R9
RB
Demolition Permits (2005-2016)*
Former Princeton Borough
Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

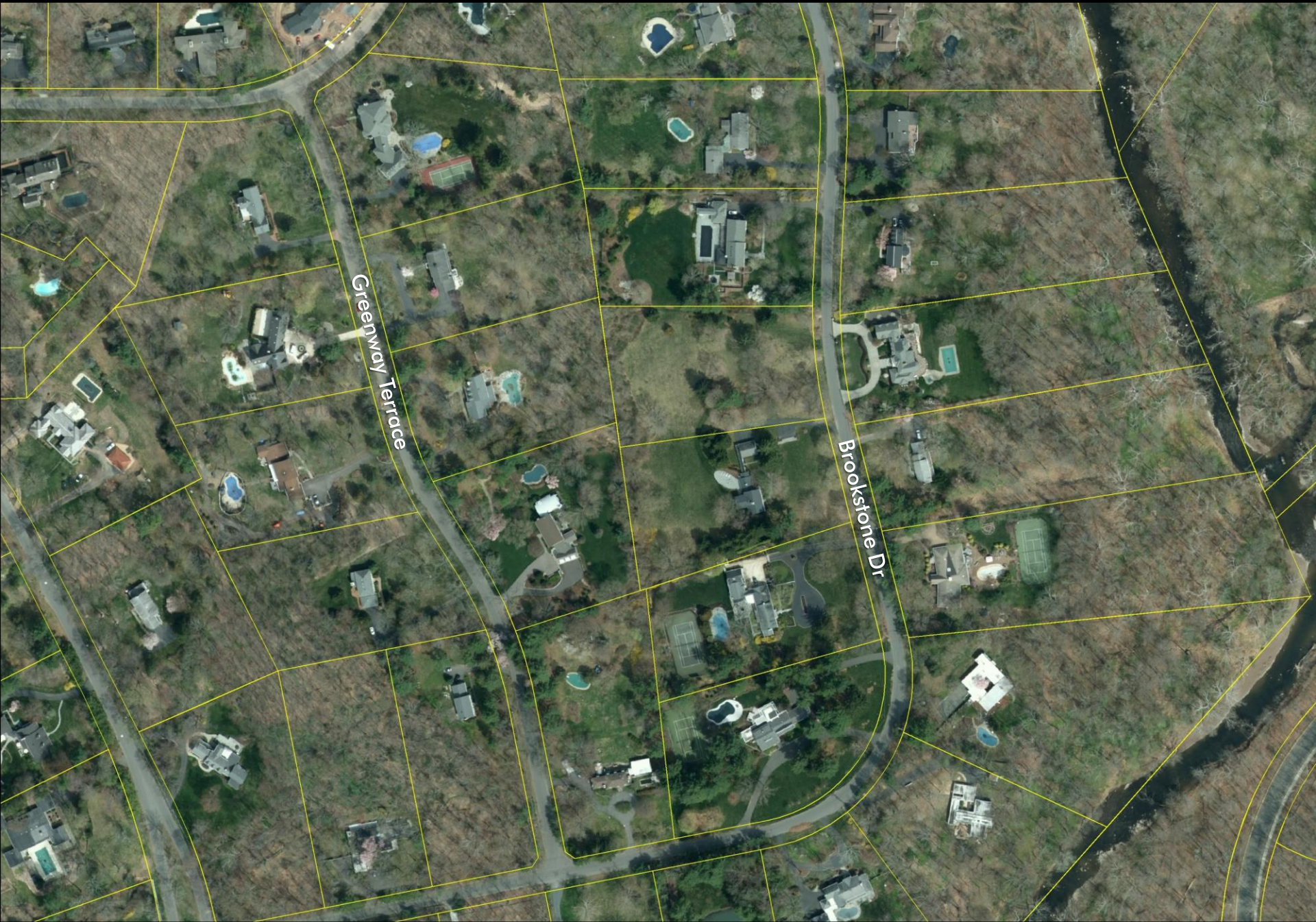
Produced by: The RBA Group

Date: September 2016

Source: Building Department

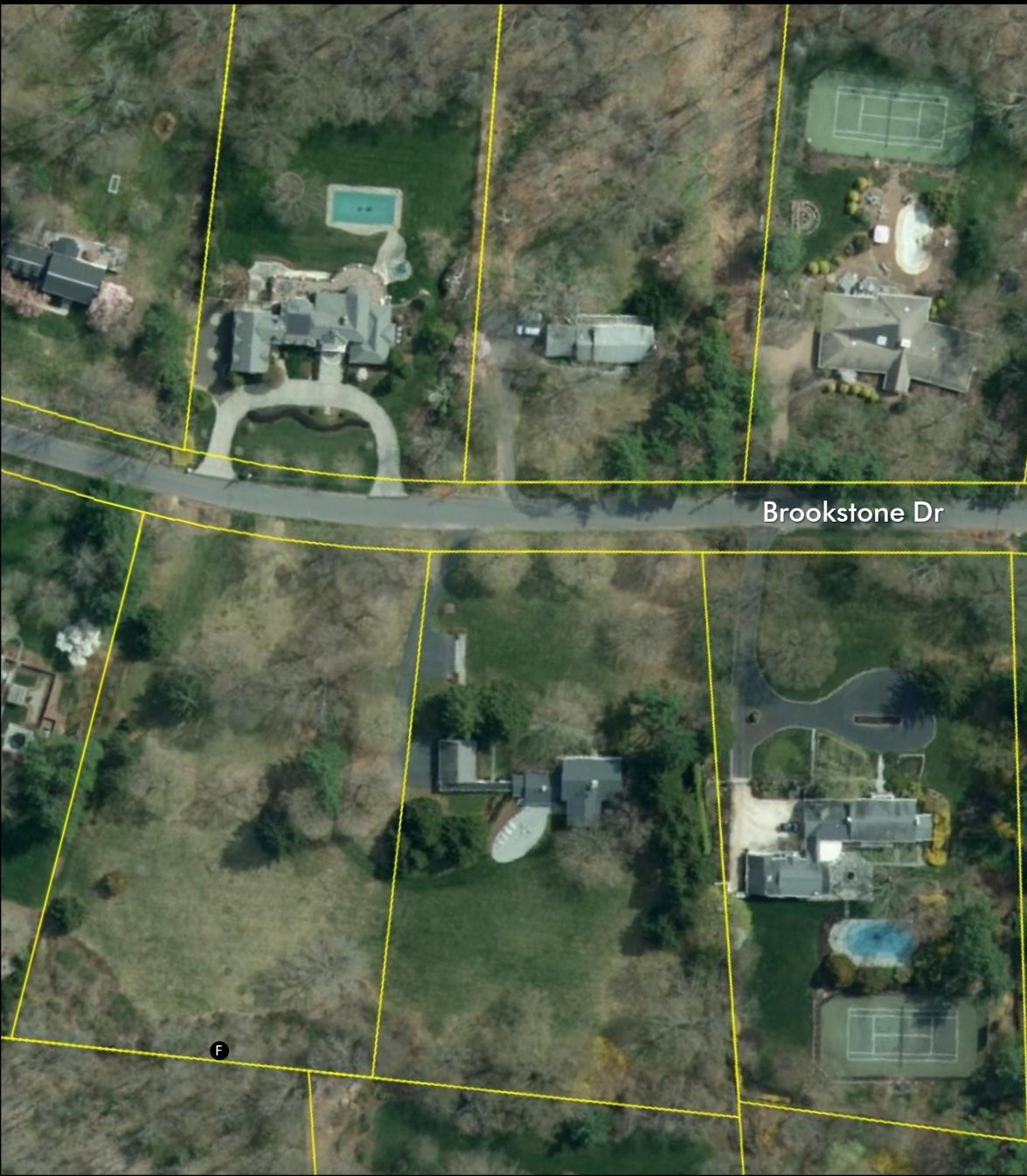


# Township Zoning – R-1 District

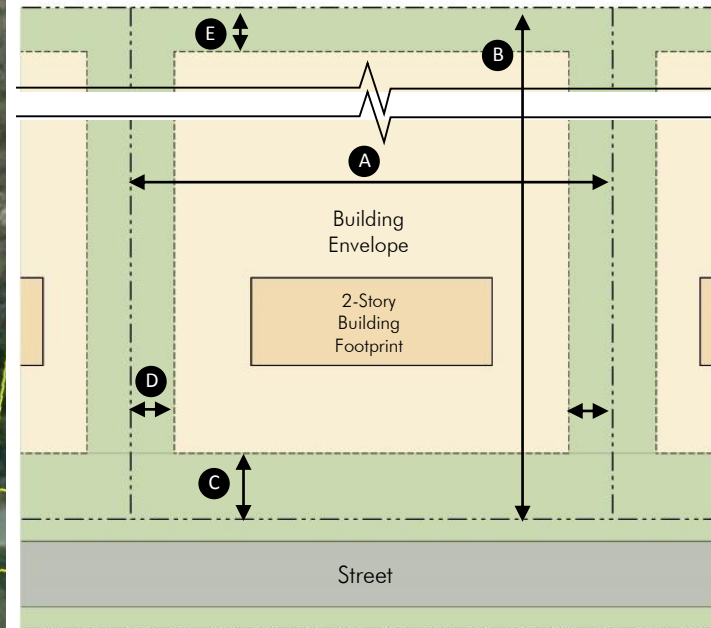




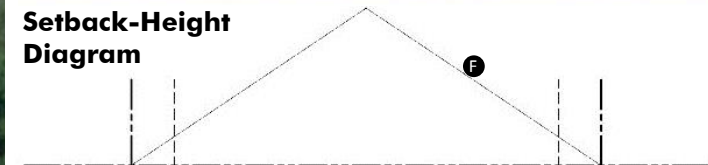
# Township Zoning – R-1 District



**Typical Lot Diagram**



**Setback-Height Diagram**

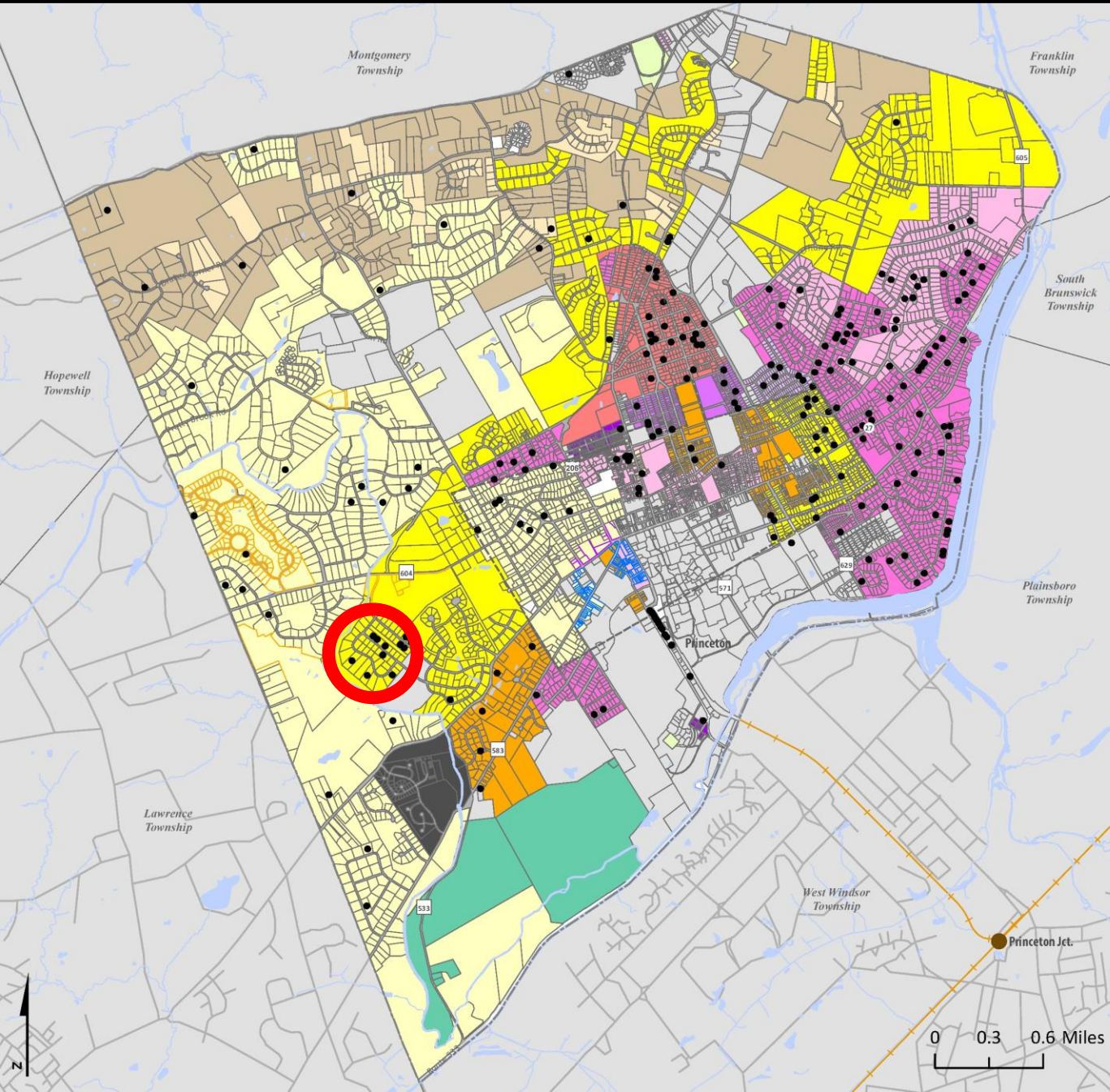


**Zoning Schedule**

	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	87,120	88,000	
Lot Width (ft)	200	220	A
Lot Depth (ft)	200	400	B
<b>Setbacks</b>			
Front Yard (ft)	25		C
Side Yard (Smaller)	20		D
Side Yard (Combined)	N/A		
Rear Yard (ft)	20		E
Setback-Height Ratio	1.5:1		F
<b>Coverage/FAR</b>			
Max. FAR	0.10	8,800 SF	



# Township Zoning – R-2 District



## Legend

### Township Zoning

	Non-Resi
	R1
	R104; R190
	R1AH
	R1R2
	R2
	R2AH
	R3
	R3
	R4
	R5
	R6
	R7
	R8
	R9
	RA; RAB; RAOR
	RB; RBOR
	RH/8; RH/12
	RHFV
	RM
	Railroad

### Borough Zoning

	Non-Resi
	R01P
	R1
	R1HP
	R1MP
	R2
	R3
	R3JP
	R3MP
	R4
	R4MP
	R5
	R9
	RB
	Demolition Permits (2005-2016)*
	Former Princeton Borough
	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

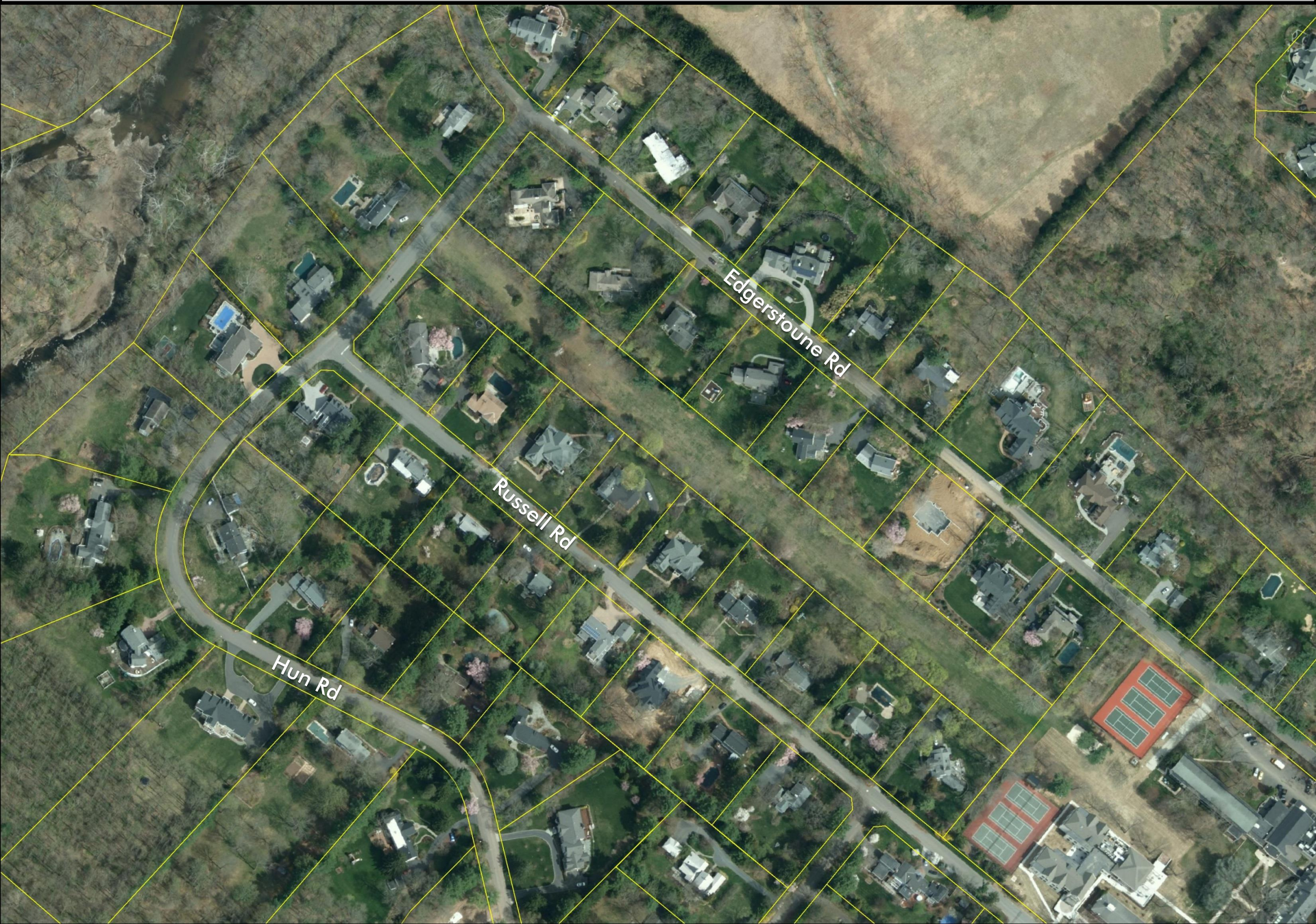
Produced by: The RBA Group

Date: September 2016

Source: Building Department

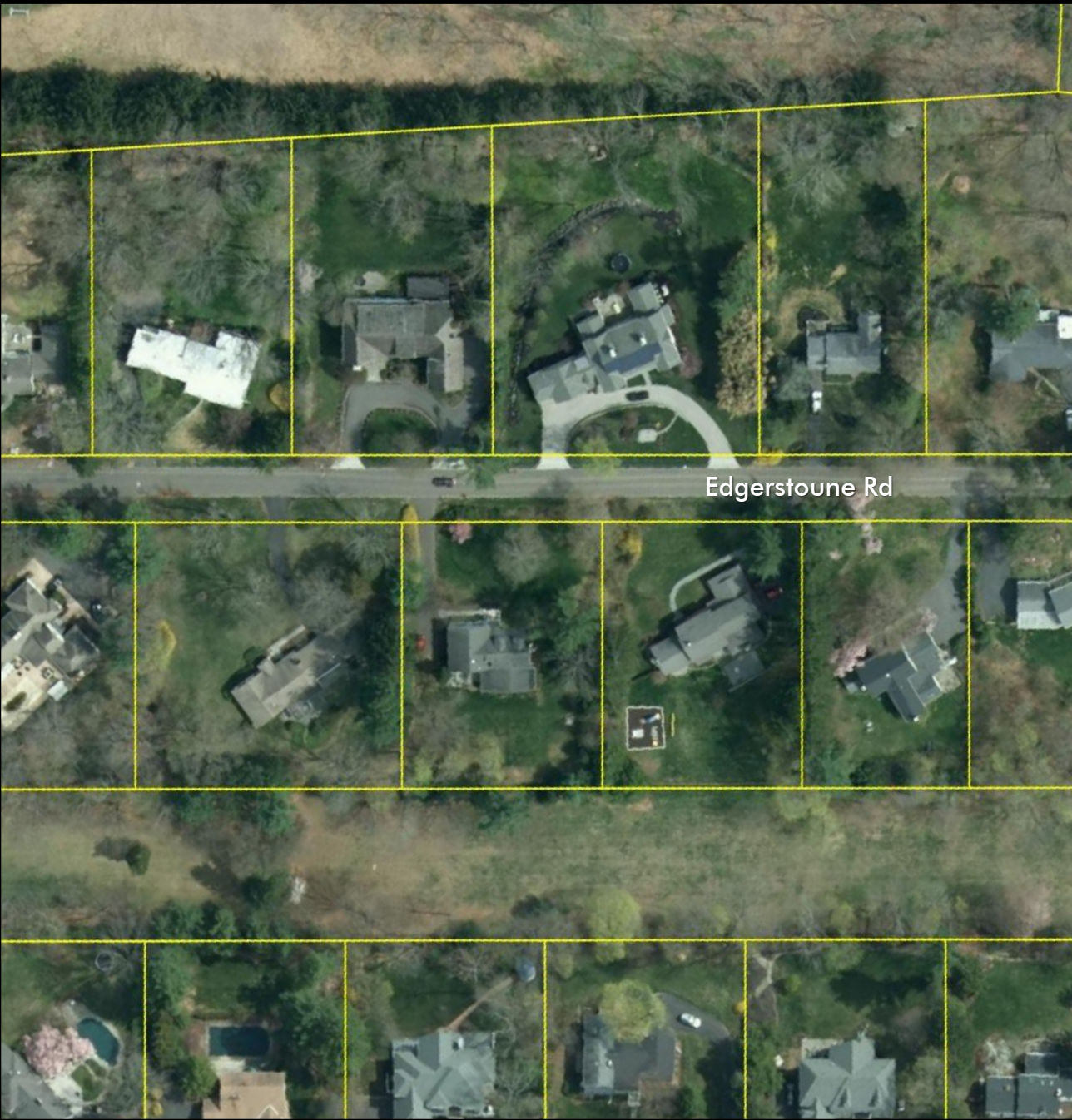


# Township Zoning – R-2 District

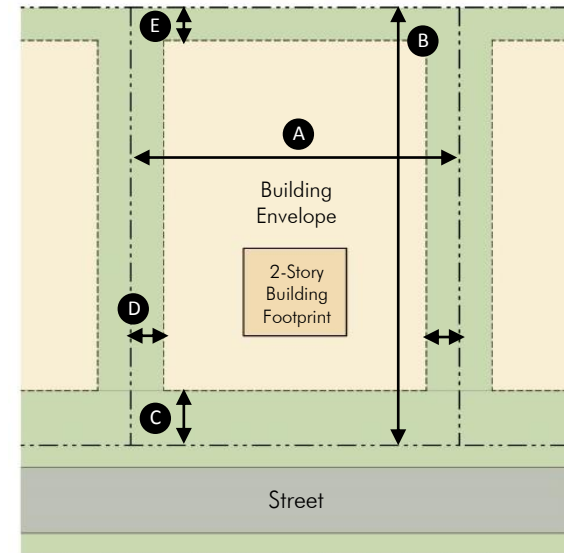




# Township Zoning – R-2 District



**Typical Lot Diagram**



**Setback-Height Diagram**

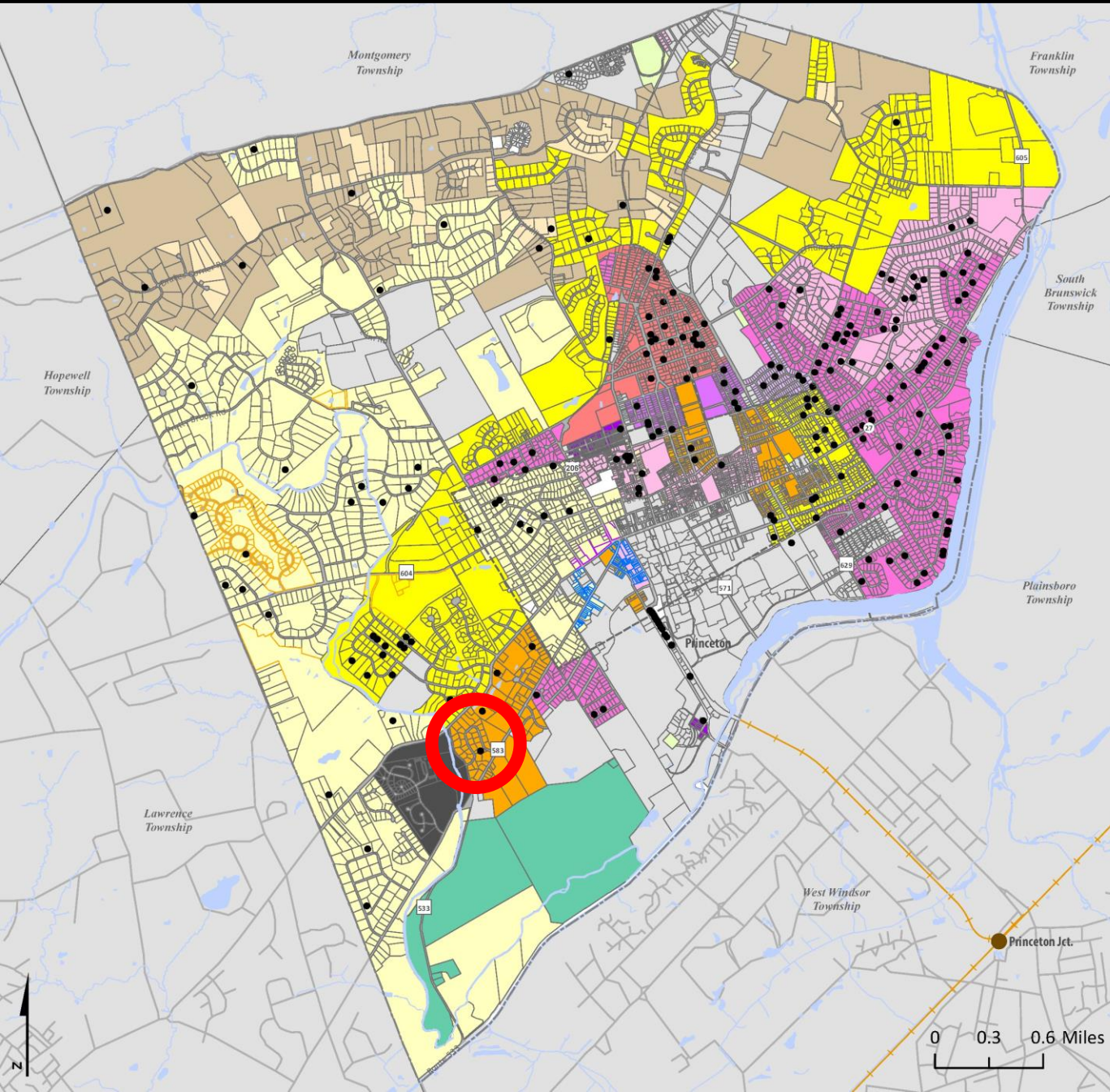


**Zoning Schedule**

	Req.	Typ.
<b>Lot Dimensions</b>		
Lot Area (SF)	65,340	30,000
Lot Width (ft)	175	150 <b>A</b>
Lot Depth (ft)	175	200 <b>B</b>
<b>Setbacks</b>		
Front Yard (ft)	25 <b>C</b>	
Side Yard (Smaller)	15 <b>D</b>	
Side Yard (Combined)	N/A	
Rear Yard (ft)	15 <b>E</b>	
Setback-Height Ratio	1.5:1 <b>F</b>	
<b>Coverage/FAR</b>		
Max. FAR	0.125	3,750 SF



# Township Zoning – R-3 District



## Legend

### Township Zoning

[Light Gray Box]	Non-Resi
[Light Yellow Box]	R1
[Light Yellow Box]	R104; R190
[Light Yellow Box]	R1AH
[Light Yellow Box]	R1R2
[Light Yellow Box]	R2
[Light Yellow Box]	R2AH
[Orange Box]	R3
[Light Pink Box]	R4
[Light Pink Box]	R5
[Light Pink Box]	R6
[Light Pink Box]	R7
[Light Pink Box]	R8
[Light Pink Box]	R9
[Light Brown Box]	RA; RAB; RAOR
[Light Brown Box]	RB; RBOR
[Light Green Box]	RH/8; RH/12
[Light Green Box]	RHFW
[Gray Box]	RM
[Orange Line]	Railroad

### Borough Zoning

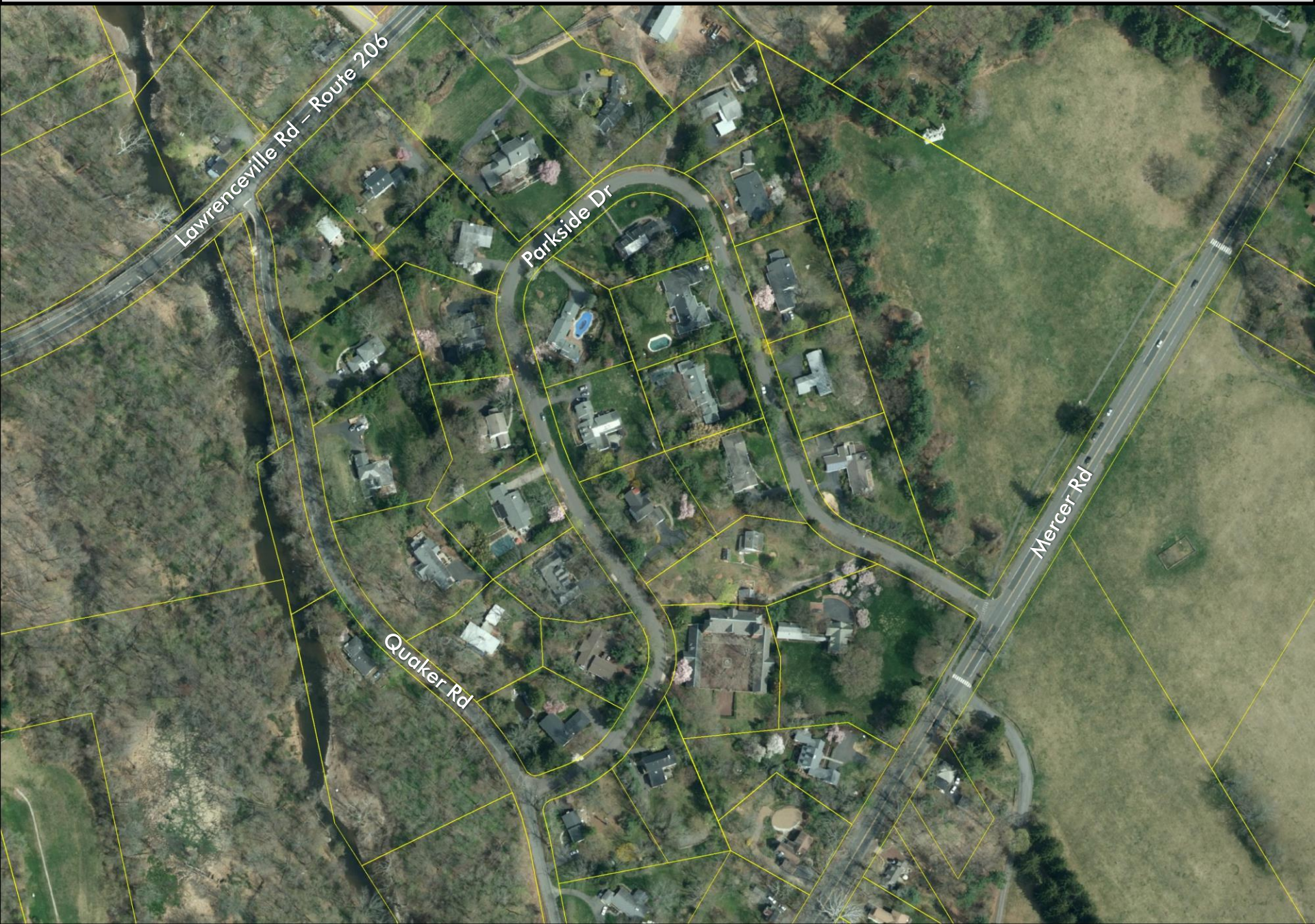
[Light Gray Box]	Non-Resi
[Light Yellow Box]	R01P
[Light Yellow Box]	R1
[Light Yellow Box]	R1HP
[Light Yellow Box]	R1MP
[Light Yellow Box]	R2
[Light Yellow Box]	R3
[Light Yellow Box]	R3JP
[Light Yellow Box]	R3MP
[Light Pink Box]	R4
[Light Pink Box]	R4MP
[Light Pink Box]	R5
[Light Pink Box]	R9
[Light Brown Box]	RB
[Black Dot]	Demolition Permits (2005-2016)*
[Dashed Line]	Former Princeton Borough
[Black Dot]	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ  
 Produced by: The RBA Group  
 Date: September 2016  
 Source: Building Department

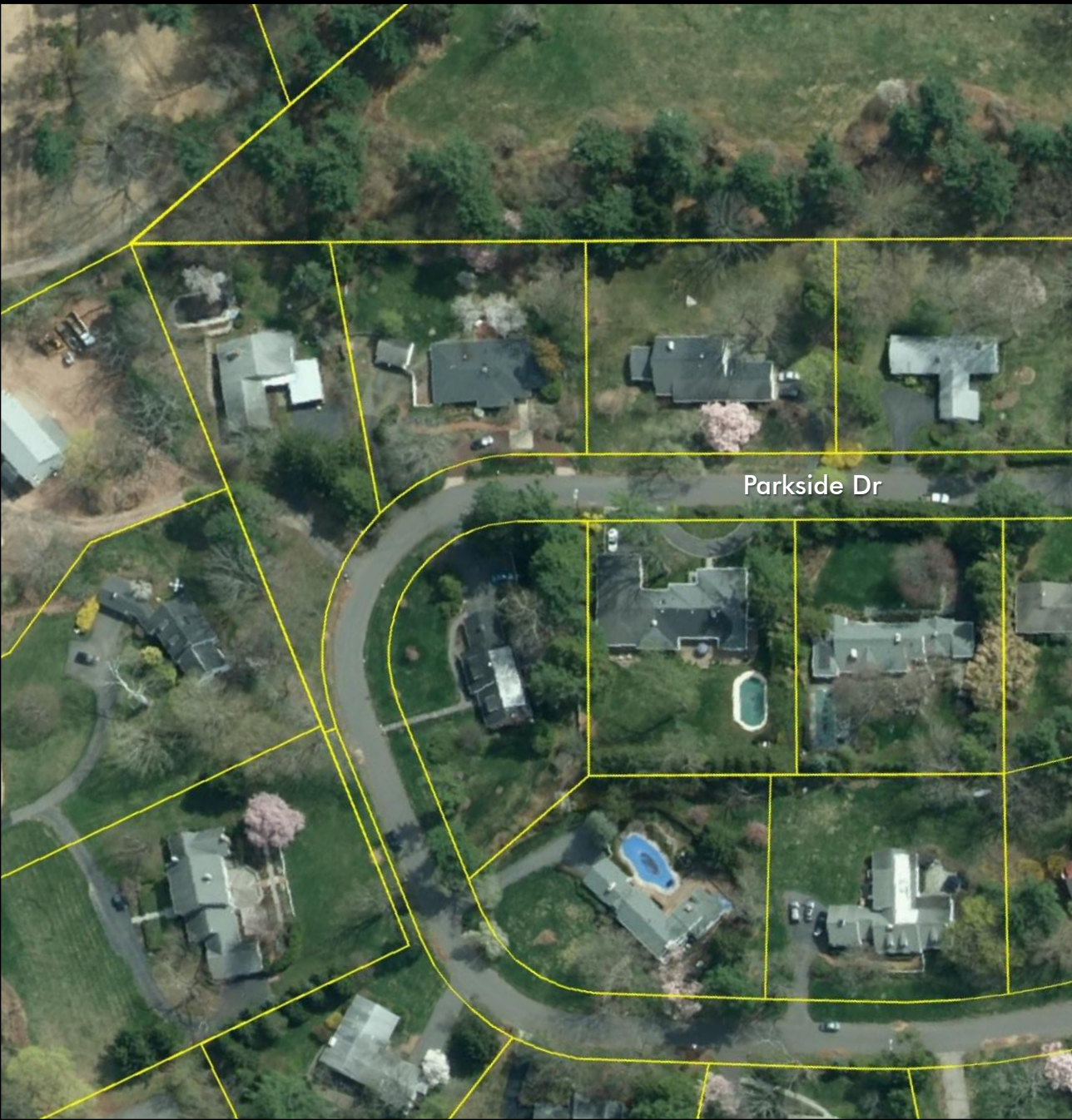


# Township Zoning – R-3 District

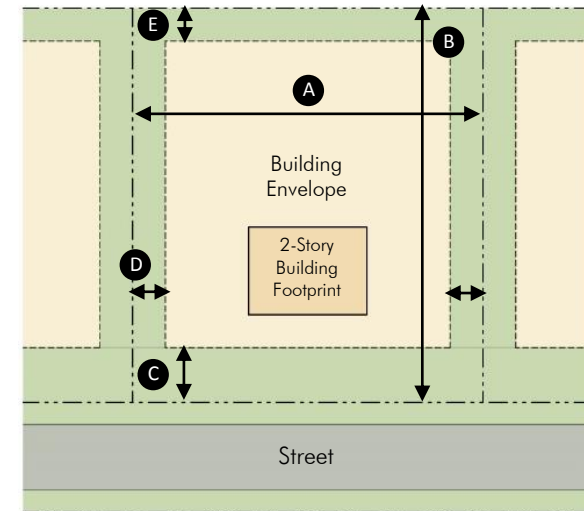




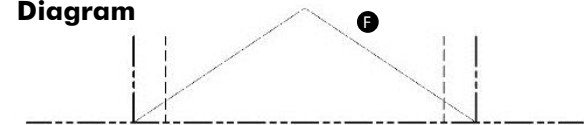
# Township Zoning – R-3 District



**Typical Lot Diagram**



**Setback-Height Diagram**

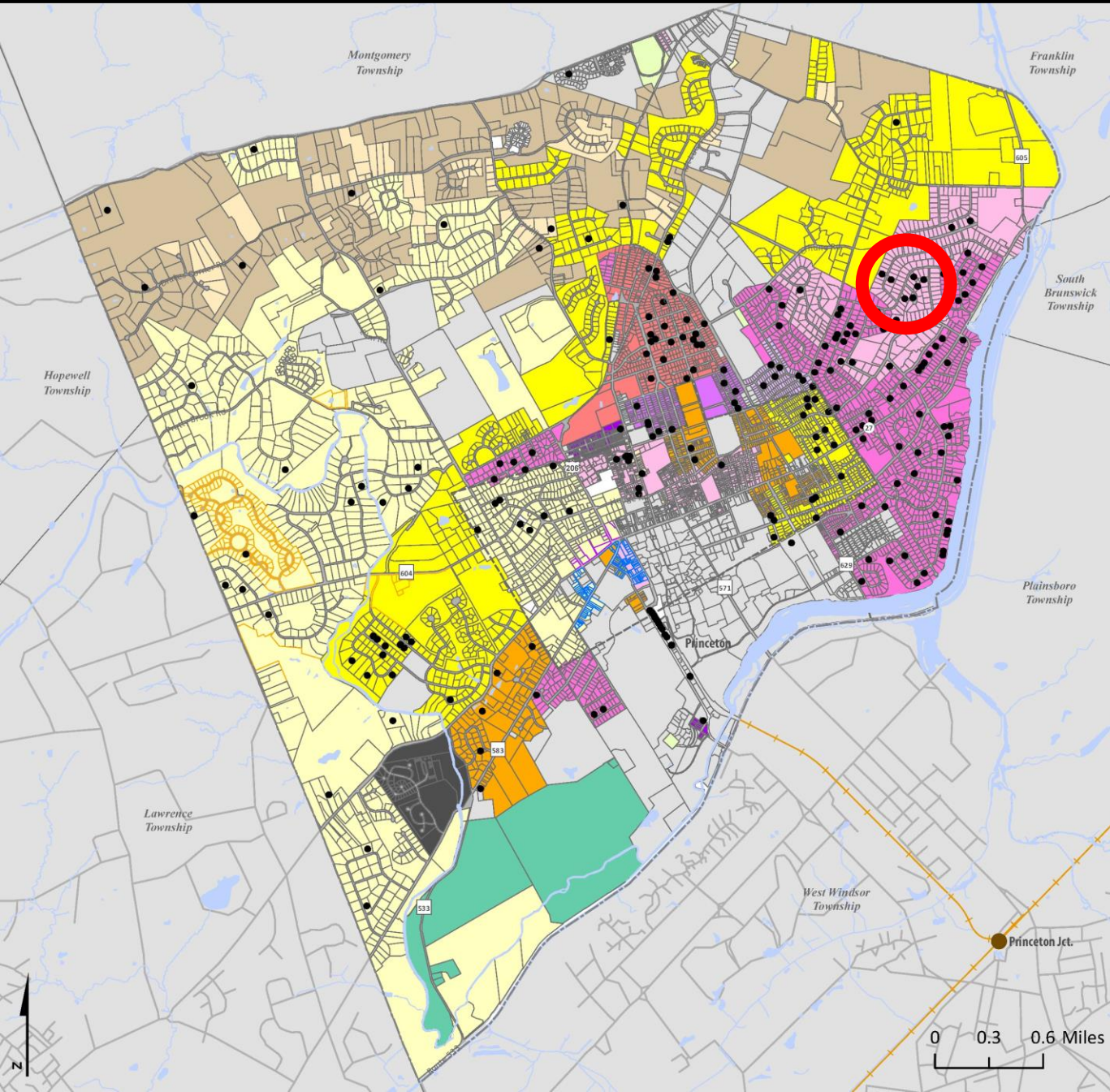


**Zoning Schedule**

	Req.	Typ.
<b>Lot Dimensions</b>		
Lot Area (SF)	43,560	28,800
Lot Width (ft)	150	160 <b>A</b>
Lot Depth (ft)	150	180 <b>B</b>
<b>Setbacks</b>		
Front Yard (ft)	25 <b>C</b>	
Side Yard (Smaller)	15 <b>D</b>	
Side Yard (Combined)	N/A	
Rear Yard (ft)	15 <b>E</b>	
Setback-Height Ratio	1.5:1 <b>F</b>	
<b>Coverage/FAR</b>		
Max. FAR	0.15	4,320 SF



# Township Zoning – R-4 District



## Legend

### Township Zoning

[Light Gray Box]	Non-Resi
[Light Yellow Box]	R1
[Light Yellow Box]	R104; R190
[Light Yellow Box]	R1AH
[Light Yellow Box]	R1R2
[Yellow Box]	R2
[Yellow Box]	R2AH
[Orange Box]	R3
[Pink Box]	R4
[Light Pink Box]	R5
[Light Orange Box]	R6
[Light Purple Box]	R7
[Purple Box]	R8
[Dark Purple Box]	R9
[Light Orange Box]	RA; RAB; RAOR
[Light Orange Box]	RB; RBOR
[Light Green Box]	RH/8; RH/12
[Light Green Box]	RHFW
[Gray Box]	RM
[Orange Line]	Railroad

### Borough Zoning

[Light Gray Box]	Non-Resi
[Light Yellow Box]	R01P
[Light Yellow Box]	R1
[Light Yellow Box]	R1HP
[Light Yellow Box]	R1MP
[Yellow Box]	R2
[Orange Box]	R3
[Orange Box]	R3JP
[Orange Box]	R3MP
[Light Pink Box]	R4
[Light Pink Box]	R4MP
[Light Purple Box]	R5
[Purple Box]	R9
[Light Orange Box]	RB
[Black Dot]	Demolition Permits (2005-2016)*
[Dashed Line]	Former Princeton Borough
[Gray Dot]	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

Produced by: The RBA Group

Date: September 2016

Source: Building Department



# Township Zoning – R-4 District

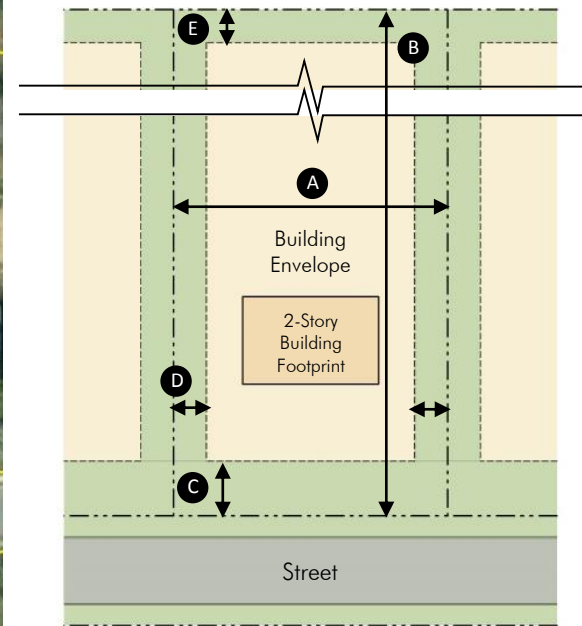




# Township Zoning – R-4 District



**Typical Lot Diagram**



**Setback-Height Diagram**



**Zoning Schedule**

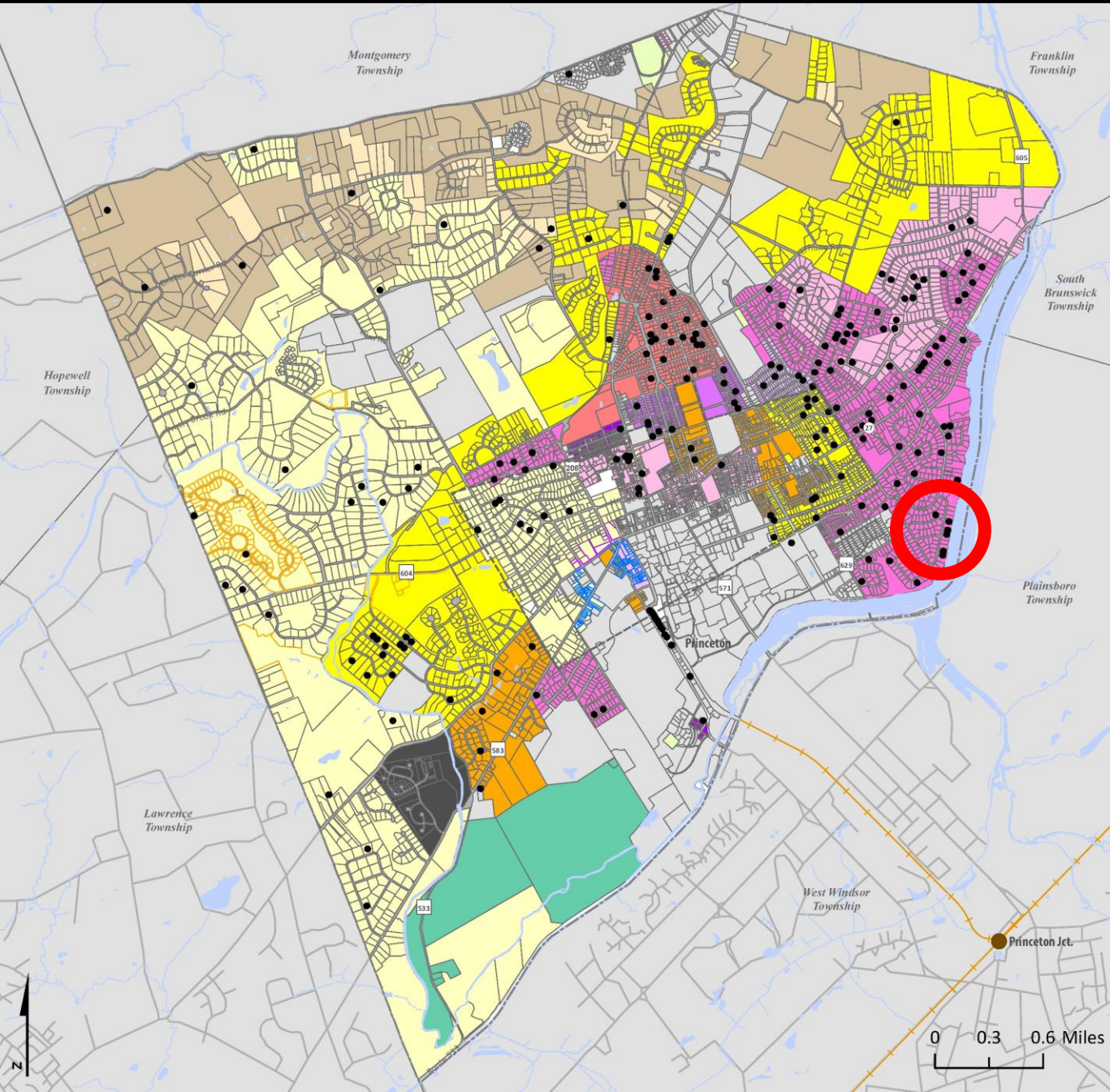
	Req.	Typ.
<b>Lot Dimensions</b>		
Lot Area (SF)	32,670	33,125
Lot Width (ft)	125	125
Lot Depth (ft)	125	265
<b>Setbacks</b>		
Front Yard (ft)	25	
Side Yard (Smaller)	15	
Side Yard (Combined)	N/A	
Rear Yard (ft)	15	
Setback-Height Ratio	1.5:1	
<b>Coverage/FAR</b>		
Max. FAR	0.15	4,969 SF







# Township Zoning – R-5 District



## Legend

### Township Zoning

[Light Yellow]	Non-Resi
[Yellow]	R1
[Light Yellow]	R104; R190
[Yellow]	R1AH
[Light Yellow]	R1R2
[Yellow]	R2
[Yellow]	R2AH
[Orange]	R3
[Pink]	R4
[Pink]	R5
[Light Pink]	R6
[Light Pink]	R7
[Light Pink]	R8
[Light Pink]	R9
[Light Orange]	RA; RAB; RAOR
[Light Orange]	RB; RBOR
[Light Green]	RH/8; RH/12
[Light Green]	RHFW
[Grey]	RM
[Orange Line]	Railroad

### Borough Zoning

[Light Yellow]	Non-Resi
[Yellow]	R01P
[Light Yellow]	R1
[Yellow]	R1HP
[Light Yellow]	R1MP
[Yellow]	R2
[Orange]	R3
[Orange]	R3JP
[Orange]	R3MP
[Pink]	R4
[Light Pink]	R4MP
[Pink]	R5
[Light Pink]	R9
[Light Orange]	RB
[Black Dot]	Demolition Permits (2005-2016)*
[Dashed Line]	Former Princeton Borough
[Grey Dot]	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

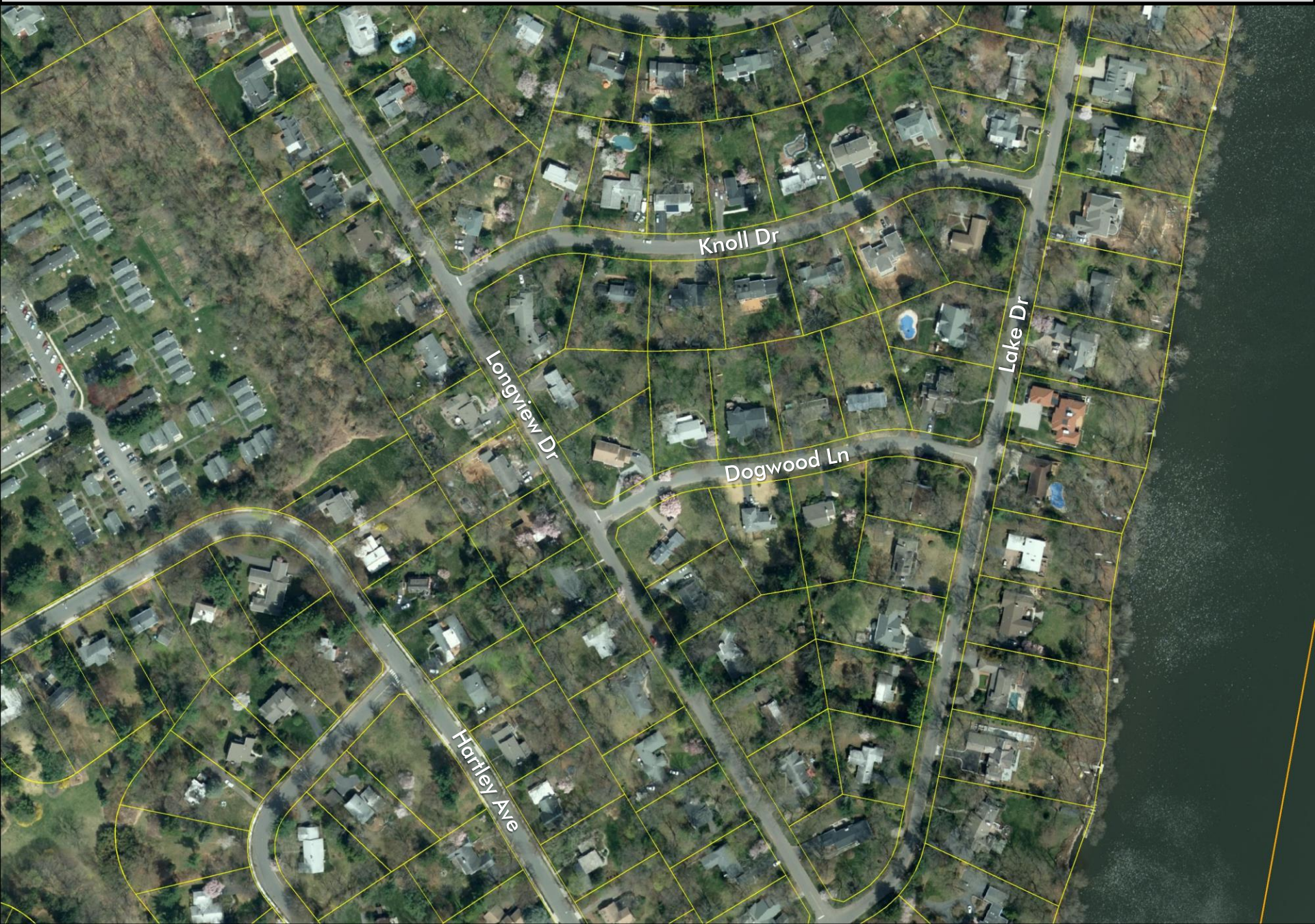
Produced by: The RBA Group

Date: September 2016

Source: Building Department

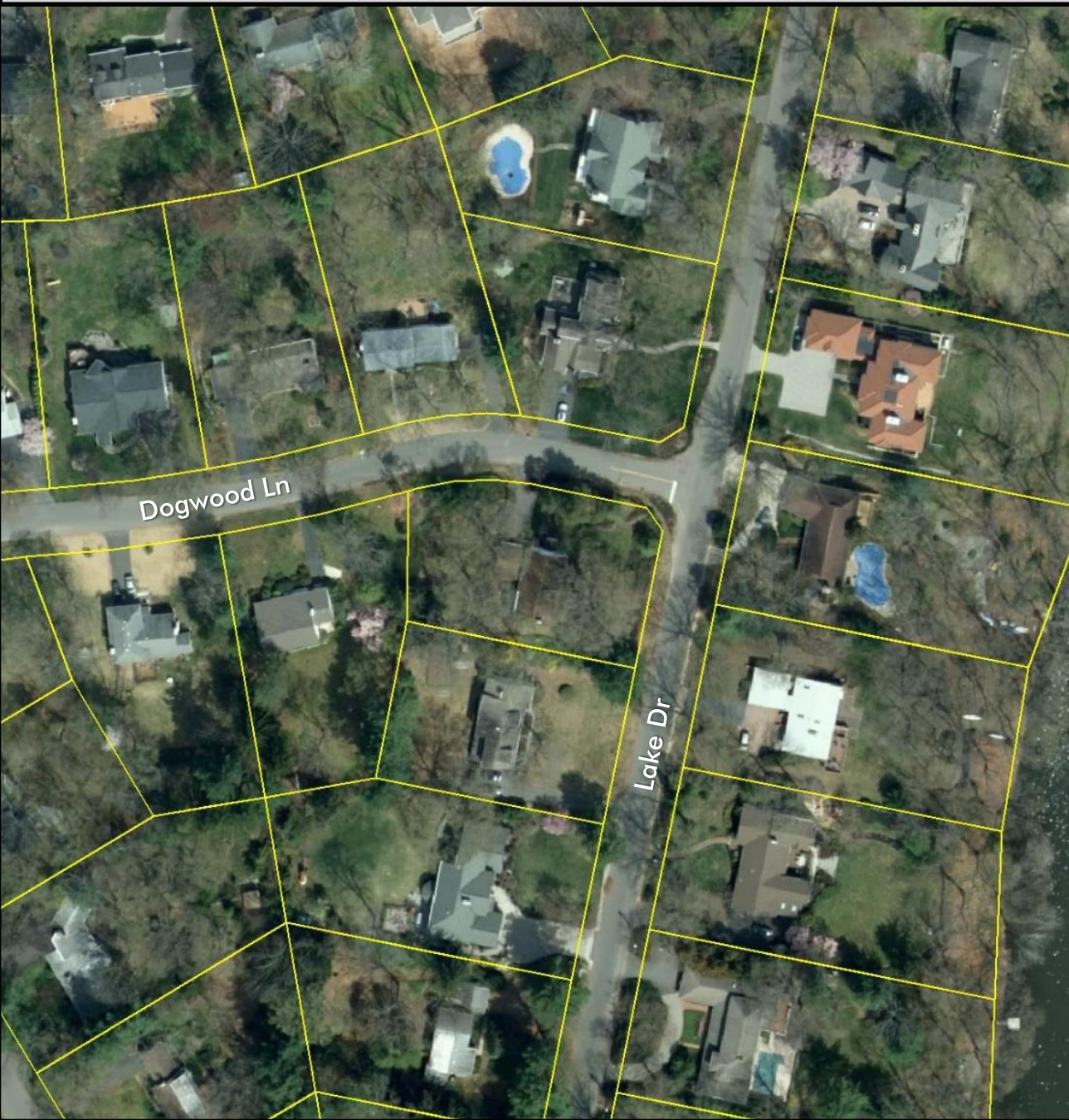


# Township Zoning – R-5 District

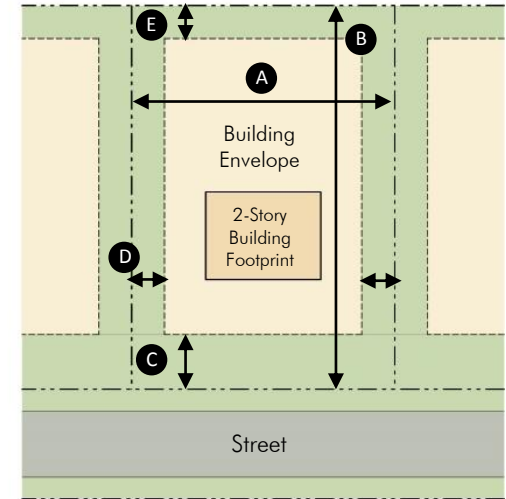




# Township Zoning – R-5 District



**Typical Lot Diagram**



**Setback-Height Diagram**

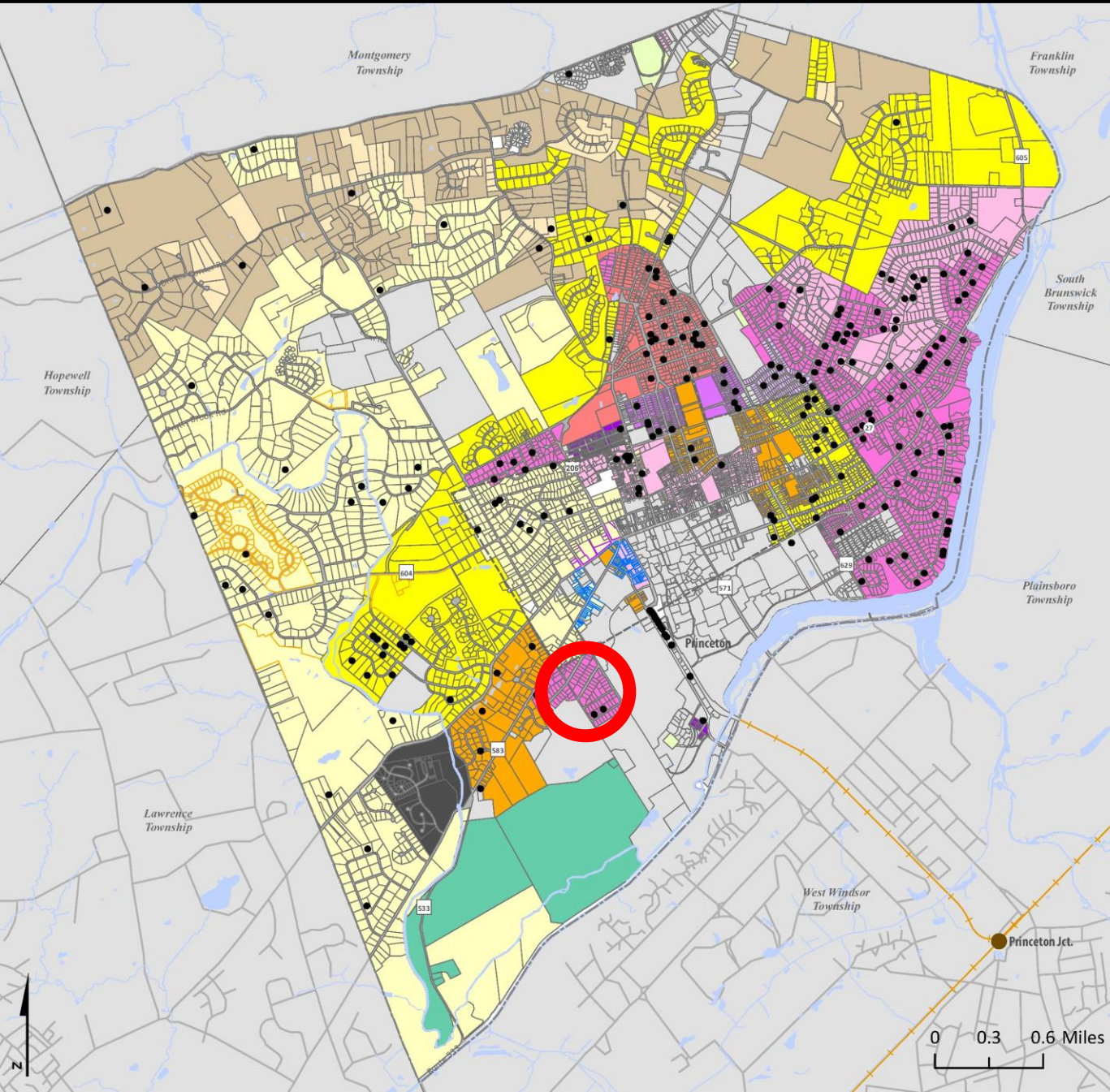


**Zoning Schedule**

	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	21,780	21,000	
Lot Width (ft)	100	120	A
Lot Depth (ft)	100	175	B
<b>Setbacks</b>			
Front Yard (ft)	25		C
Side Yard (Smaller)	15		D
Side Yard (Combined)	N/A		
Rear Yard (ft)	15		E
Setback-Height Ratio	1:1		F
<b>Coverage/FAR</b>			
Max. FAR	0.20	4,200 SF	



# Township Zoning – R-5 District



## Legend

### Township Zoning

	Non-Resi
	R1
	R104; R190
	R1AH
	R1R2
	R2
	R2AH
	R3
	R4
	R5
	R6
	R7
	R8
	R9
	RA; RAB; RAOR
	RB; RBOR
	RH/8; RH/12
	RHF
	RM
	Railroad

### Borough Zoning

	Non-Resi
	R01P
	R1
	R1HP
	R1MP
	R2
	R3
	R3JP
	R3MP
	R4
	R4MP
	R5
	R9
	RB
	Demolition Permits (2005-2016)*
	Former Princeton Borough
	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

Produced by: The RBA Group

Date: September 2016

Source: Building Department



# Township Zoning – R-5 District

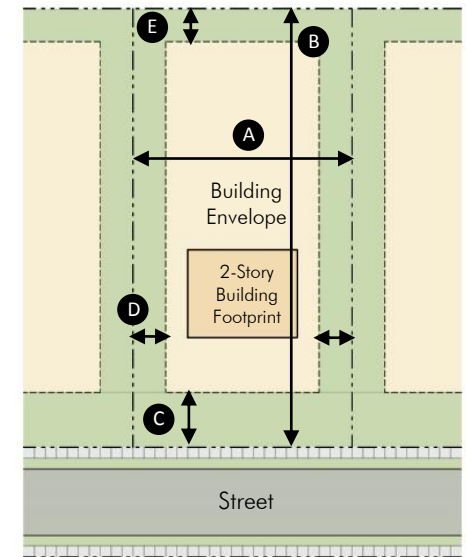




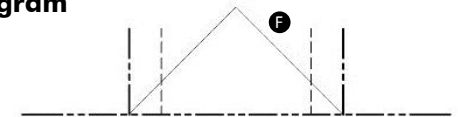
# Township Zoning – R-5 District



**Typical Lot Diagram**



**Setback-Height Diagram**

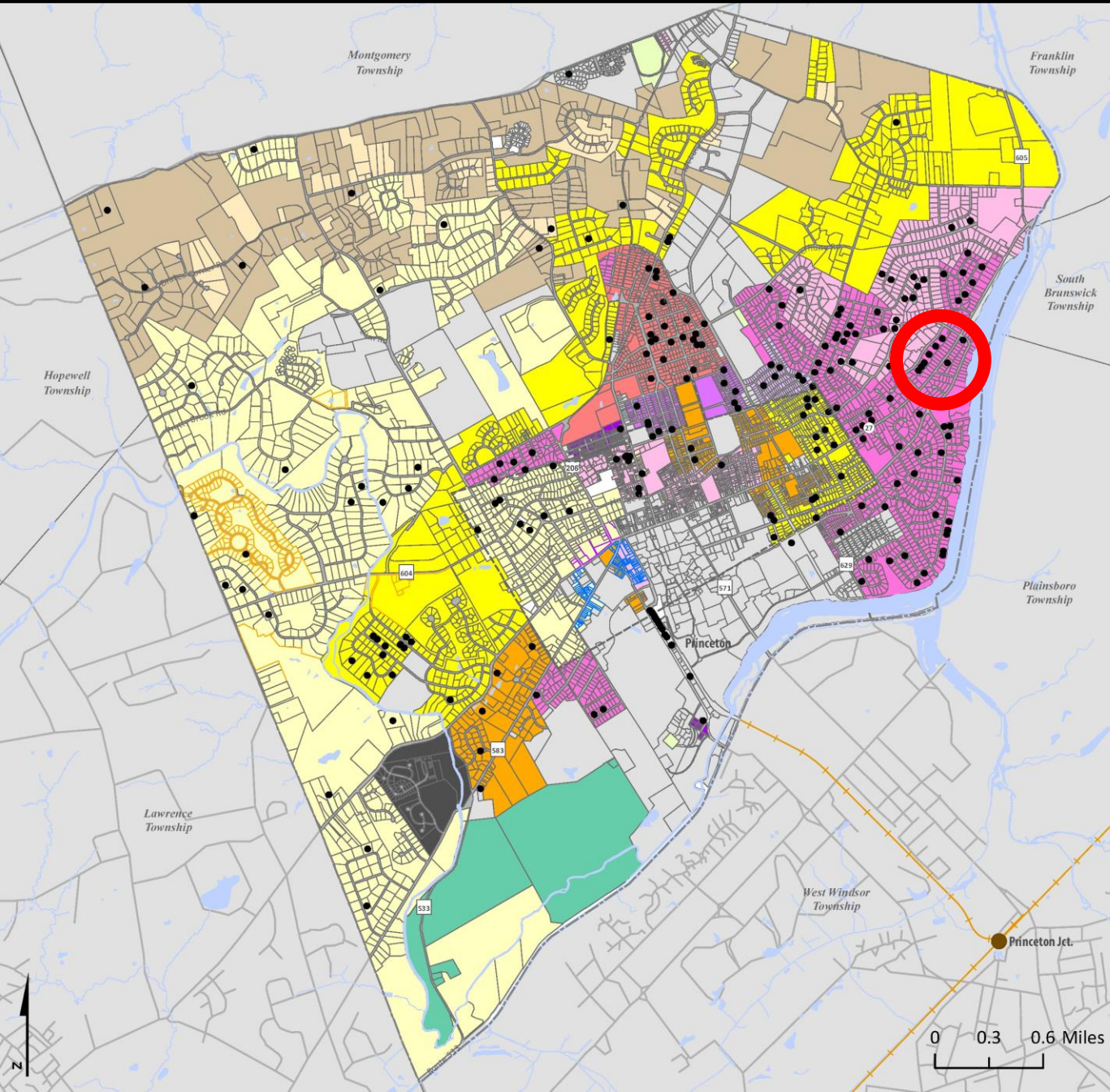


**Zoning Schedule**

	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	21,780	20,000	
Lot Width (ft)	100	100	A
Lot Depth (ft)	100	200	B
<b>Setbacks</b>			
Front Yard (ft)	25		C
Side Yard (Smaller)	15		D
Side Yard (Combined)	N/A		
Rear Yard (ft)	15		E
Setback-Height Ratio	1:1		F
<b>Coverage/FAR</b>			
Max. FAR	0.20	4,000 SF	



# Township Zoning – R-5 District



## Legend

### Township Zoning

	Non-Resi
	R1
	R104; R190
	R1AH
	R1R2
	R2
	R2AH
	R3
	R4
	R5
	R6
	R7
	R8
	R9
	RA; RAB; RAOR
	RB; RBOR
	RH/8; RH/12
	RHF
	RM
	Railroad

### Borough Zoning

	Non-Resi
	R01P
	R1
	R1HP
	R1MP
	R2
	R3
	R3JP
	R3MP
	R4
	R4MP
	R5
	R9
	RB
	Demolition Permits (2005-2016)*
	Former Princeton Borough
	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

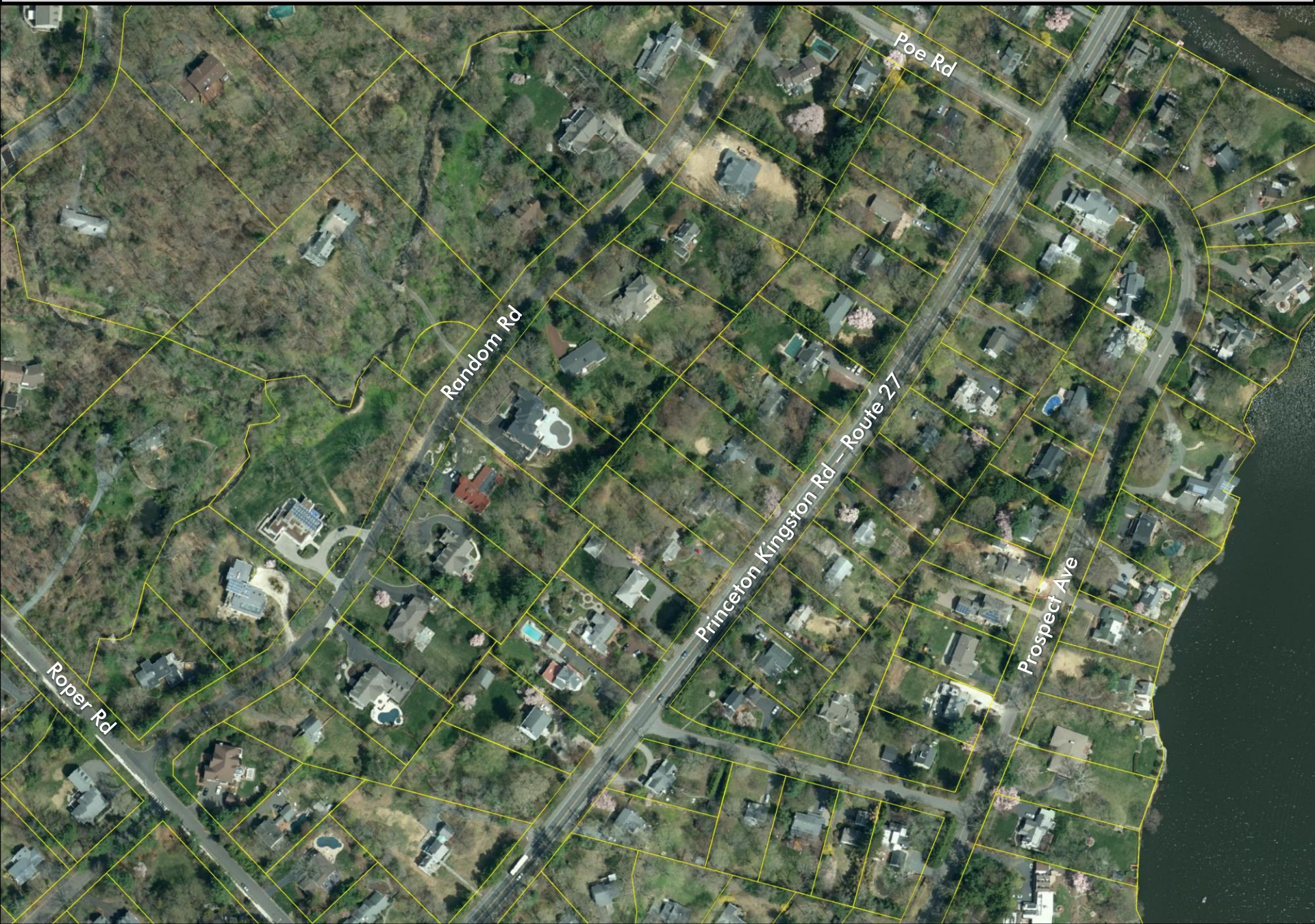
Produced by: The RBA Group

Date: September 2016

Source: Building Department



# Township Zoning – R-5 District

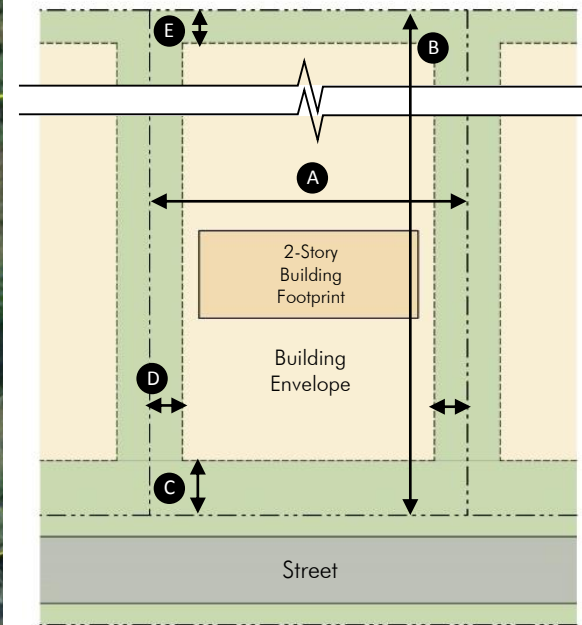




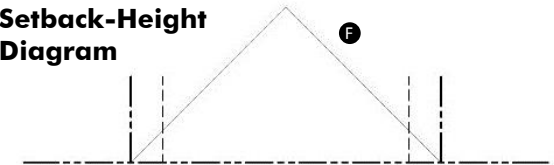
# Township Zoning – R-5 District



**Typical Lot Diagram**



**Setback-Height Diagram**



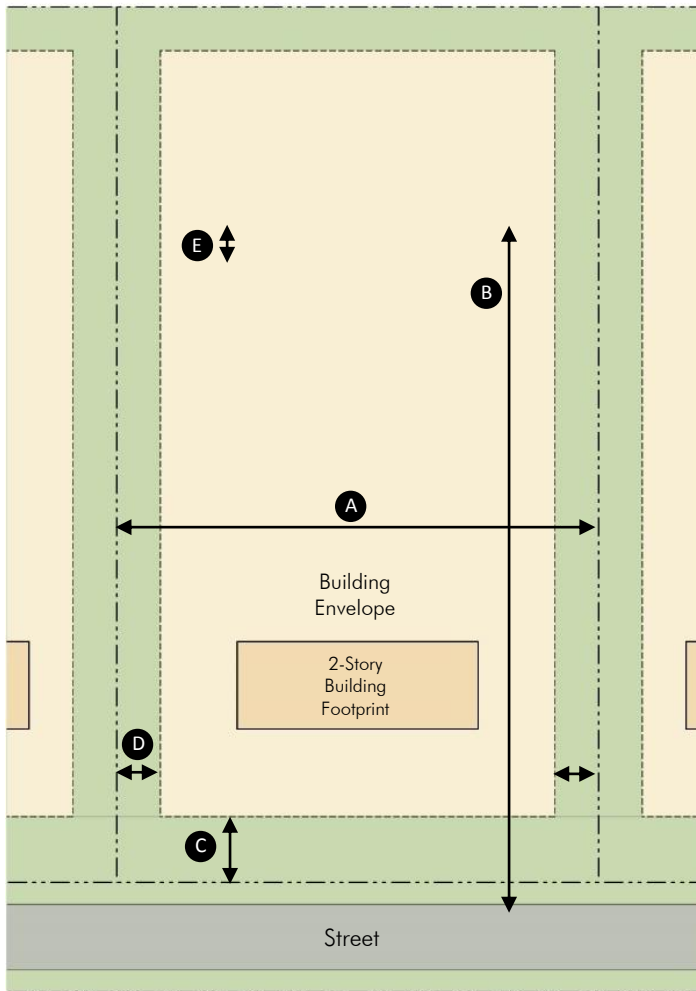
**Zoning Schedule**

	Req.	Typ.
<b>Lot Dimensions</b>		
Lot Area (SF)	21,780	39,875
Lot Width (ft)	100	145 <b>A</b>
Lot Depth (ft)	100	275 <b>B</b>
<b>Setbacks</b>		
Front Yard (ft)	25 <b>C</b>	
Side Yard (Smaller)	15 <b>D</b>	
Side Yard (Combined)	N/A	
Rear Yard (ft)	15 <b>E</b>	
Setback-Height Ratio	1:1 <b>F</b>	
<b>Coverage/FAR</b>		
Max. FAR	0.20	7,975 SF



# Comparison of R-1 vs. R-5 Lot Requirements

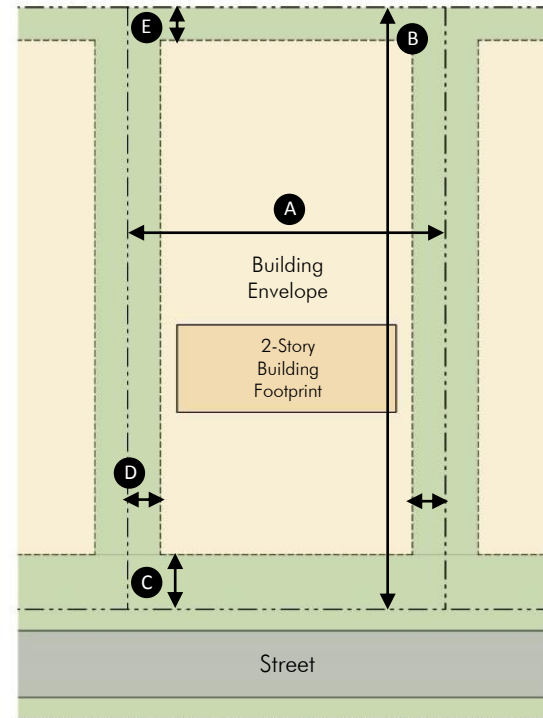
Lot Diagram of Typical Lot in R-1 Zone



## Zoning Schedule

	Req.	Typ.
<b>Lot Dimensions</b>		
Lot Area (SF)	87,120	88,000
<b>Coverage/FAR</b>		
Max. FAR	0.10	8,800 SF

Lot Diagram of Typical Lot (e.g., Random Rd or Lake Dr) in R-5 Zone



## Zoning Schedule

	Req.	Typ.
<b>Lot Dimensions</b>		
Lot Area (SF)	21,780	39,875
<b>Coverage/FAR</b>		
Max. FAR	0.20	7,975 SF



- Allowed: 5,942 s.f.  
Proposed 7,260  
Excess = 1,317

Excess = 1,317

1009f.

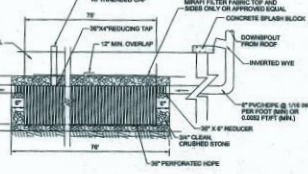


RECEIVED  
APR 14 2015  
PRINCETON  
OFFICE OF COMMUNITY DEVELOPMENT

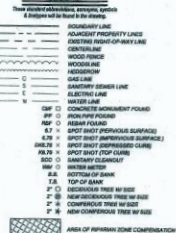
DATE May 7, 2015  
Enviro. Engrg. Dept.



1. PROPOSED LANDSCAPING TAKEN FROM PREVIOUSLY APPROVED PLAN ENTITLED "PROPOSED FLOOD HAZARD AREA INDIVIDUAL PERMIT PLAN, WESTERN ROAD CHURCH PROJECT, BLOCK 6783, LOT 12, 13 & 14," PREPARED BY TAYLOR, HISEMAN & TAYLOR, DATED SEPTEMBER 23, 2013, LAST REVISED ON 01/01/14, DWS, NO. 13-02251-PA SHEET 4 OF 8, FILE NO. 1114-13-0055.
2. TIES SHOWN ARE TO THE FOUNDATION WALLS.
3. CIRCULAR RIGHT-OF-WAY, LOT LINES, EASEMENTS AND METEELAND INFORMATION TAKEN FROM:
- A. PLAN ACTUAL FIELD SURVEY PREPARED BY TAYLOR, HISEMAN & TAYLOR.
- B. PLAN ENTITLED "RURAL SUBDIVISION PLAN, WESTERN ROAD CHURCH PROJECT, BLOCK 6783, LOT 12, 13 & 14," PREPARED BY TAYLOR, HISEMAN & TAYLOR, REVISED TO 01/01/14, DRAWING NO. 13-02251-UB, FILED IN THE MERCER COUNTY CLERKS OFFICE ON 04/22/2014, AS MAP NO. 4075.
4. ALL EASEMENTS AND EASEMENT INFORMATION TAKEN FROM PREPARED BY UNDERWOOD ENGINEERING DATED 7/26/2014 (VE REFERENCE 3851-13-0050).
5. PROPERTY LOCATED IN B-20A ZONE DISTRICT.



**SIDE VIEW**  
NOT TO SCALE



 AREA OF RHIPARIAN ZONE COMPENSATION

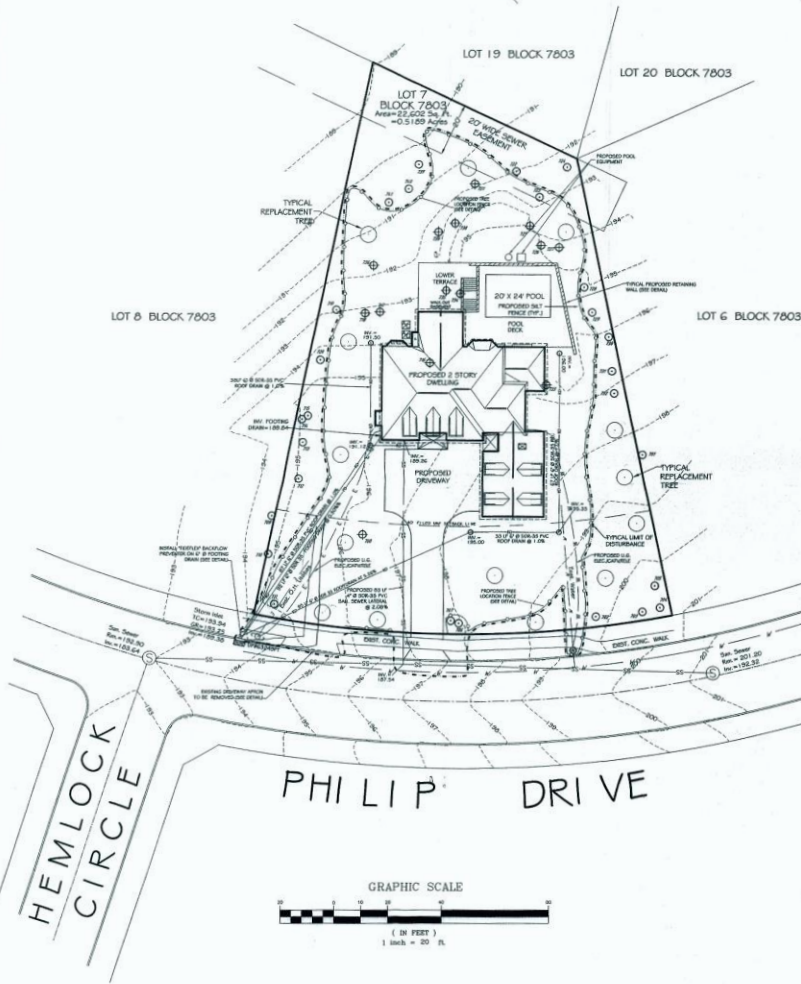
**GARY V. VECCHIO**  
NJ PROFESSIONAL ENGINEER NO. - 240E00091

\\gar-01\mnt\cadd\2014\2014052041\2041\PLANS-NEW\LAYOU\T43\_Westbury\_Road\2041\_PERMIT LOT12.04.dwg Layout1



# REFERENCES

Being subject to a 30 foot wide sewer easement along course No. 2 as shown hereon and  
 rolled in Deed Book 1673, Page 469.  
 Being subject to Grants to Public Service Electric & Gas Company recorded in Deed Book  
 1935, Page 137 and Deed Book 1971, Page 300.  
 Being lot 355 as shown on a map entitled "Final Plan of Proposed Property of Island  
 Development Co. Princeton Township, Mercer County, N.J. surveyed and drawn by Edward B.  
 Van Natta, Civil Engineer, Princeton, N.J. State 114052 June 1962 To Be Divided by  
 Uniform at Princeton" said map filed in the Mercer County Clerk's Office on October 27,  
 1962 as Map No. 1463.



## EXISTING TREE LIST

NO.	SPECIES	CALIPER
701	CHERRY	20" TWIN
702	MAPLE	36"
703	CEDAR	7", 0"
704	CEDAR	7", 11"
705	CEDAR	7", 11"
706	ASH	30" DECEASED
707	ASH	28"
708	CEDAR	19"
709	REMOVAL	12"
710	WALNUT	7", 9"
711	MAPLE	20"
712	ASH	20"
713	CEDAR	9"
714	CEDAR	10"
715	REMOVAL	10"
716	ASH	22"
717	CHERRY	7"
718	WALNUT	0", 7"
719	CHERRY	11"
720	REMOVAL	11", 12"
721	CHERRY	21"
722	ASH	9"
723	ELM	15"
724	REMOVAL	0"
725	REMOVAL	15"
726	WALNUT	9"
727	ASH	17"
728	ASH	10"
729	ASH	30"
730	ASH	11", 14"
731	PINE	10"
732	PINE	17"
733	CHERRY	22" DECEASED
734	MAPLE	13", 18"
735	MAPLE	12"
736	ASH	30"
737	ASH	17"
738	MAPLE	13"
739	ASH	22"
740	ASH	12"
741	ASH	12"

⊕ DENOTES EXISTING TREE  
 ○ TO BE REMOVED

NOTE:  
 AS A RESULT OF THE PROPOSED CONSTRUCTION, 14 EXISTING TREES WILL BE REMOVED.  
 THE 14 TREES SHALL BE REPLACED ON A ONE FOR ONE BASIS. ONE THIRD OF THE  
 REPLACEMENT TREES SHALL BE OF NATIVE STOCK OF AT LEAST 1.0" CALIPER.  
 THE SPECIES AND LOCATION OF THE REPLACEMENT TREES SHALL BE APPROVED BY THE  
 MUNICIPAL ARBORIST.

## TREES TO BE PROTECTED

IF HIGH WIND FENCE OR POST  
 DAMAGED AND REMOVED 4" OF ALL  
 AND AT ALL CHANGES OF DIRECTION.  
 SHALL BE TO BE REMOVED  
 AT THE TOP LINE OF THE TREE.  
 MINIMUM LIMIT OF EXPOSURE  
 OR AS DIRECTED BY THE ENGINEER.

## NOTE:

- THE CONTRACTOR SHALL NOT REMOVE EXISTING TREES OR MATERIALS  
 OF ANY NATURE UNDER THE TOP LINE OF THE TREES.
- WHERE THE ROOTS ARE EXPOSED, THE CONTRACTOR SHALL TUNNEL  
 UNDER THE ROOTS TO AVOID DAMAGE TO THEM. ANY EXPOSED  
 ROOTS WHICH ARE EXPOSED OR EXPOSED SHALL BE PROTECTED AS DIRECTED  
 BY THE ENGINEER.
- THE CONTRACTOR SHALL DIRECT THE CONTRACTOR TO INSTALL A PROTECTIVE  
 BARRELS AROUND THE TREES OR BRANCHES TO AVOID DAMAGE IN THE  
 EVENT THE CONSTRUCTION EQUIPMENT ACCIDENTALLY COMES IN CONTACT  
 WITH THE TREE. THE BARRELS SHALL BE MADE OF GALVANIZED IRON  
 PIPE AND BE AT LEAST 4" IN DIAMETER. THE BARRELS SHALL BE SET IN  
 THE TREE TO SUCH A DEPTH AS TO PREVENT DAMAGING THE BARK.  
 IN THE EVENT THERE IS OTHER DAMAGE, PROTECTION BE USED  
 TO PROTECT THE TREES.
- IN THE EVENT WHERE TREE DAMAGE OCCURS BEYOND THE CONTRACTOR'S  
 BEST EFFORTS TO PROTECT THE TREES, HE SHALL IMMEDIATELY ADVISE THE  
 ENGINEER'S ATTENTION.

## TREE PROTECTION FENCE DETAIL

NOT TO SCALE



## LEGEND

- Existing Spot Elevation
- Existing Topographic Contour
- Existing Topographic Line
- Utility Pole
- Electric Transformer
- Utility Pole
- A.C. Line
- Gas Line
- Electric Line (Underground)
- Telephone Line (Underground)
- Water Line
- Gas Valve
- Water Valve
- Fire Hydrant
- Light Pole
- Sanitary Sewer Service Line
- Sanitary Sewer Manhole
- Storm Sewer Manhole
- Storm Sewer Manhole
- Storm Sewer Line
- Proposed Line
- Right of Way Center Line
- Right of Way Line
- Proposed Topographic Contour
- Proposed Spot Elevation

## PROVISION NOTES:

- If the extension of water mains is required, the spacing and location of  
 hydrants will comply with the standards of the New Jersey American Water  
 Company and approved by the Municipal Engineer & Fire Protection  
 Official.
- Electric, Telephone, Cable and all other overhead utility customers  
 shall be notified underground with conduits established by the  
 engineering company, and approved by the Municipal Engineer.
- All construction to be in accordance with the last construction plan  
 as approved by the Municipal Engineer.
- All drainage and sewer easements for public use shall be dedicated  
 to the Municipality of Princeton unless otherwise noted.
- All areas where natural vegetation and/or riparian trees and to remain,  
 shall be protected by the removal of stumps, and the replacement and  
 occur prior to replacement by the Municipal Engineer and the location of  
 written authorization by the Municipal Engineer. These protective  
 easements shall not be altered or removed without the approval of the  
 Municipal Engineer.
- On minor applications, if the plan is not to be filed with the County, Note on Plan  
 Details of such note must be recorded with the Mercer County Clerk's Office.

CONSTRUCTION DRAWINGS  
 APPROVED

DATE May 22, 2015

*Kevin M. Brakel*

**Princeton Junction Engineering, P.C.**  
 Professional Engineers, Land Surveyors and Planners  
 P.O. Box 610 - 53 North York Road  
 Princeton Junction, New Jersey 08550  
 Telephone: 609-799-1900 Fax: 609-799-1120 Email: pje@princeton-jnj.com

E. Kevin M. Brakel, P.E.  
 P. Frank J. Falcone, P.E.  
 L. Kevin M. Brakel, P.E.  
 S. Kevin M. Brakel, P.E.  
 M. Kevin M. Brakel, P.E.  
 K. Kevin M. Brakel, P.E.  
 J. Kevin M. Brakel, P.E.  
 C. Kevin M. Brakel, P.E.  
 D. Kevin M. Brakel, P.E.  
 F. Kevin M. Brakel, P.E.  
 G. Kevin M. Brakel, P.E.  
 H. Kevin M. Brakel, P.E.  
 I. Kevin M. Brakel, P.E.  
 L. Kevin M. Brakel, P.E.  
 O. Kevin M. Brakel, P.E.  
 P. Kevin M. Brakel, P.E.  
 Q. Kevin M. Brakel, P.E.  
 R. Kevin M. Brakel, P.E.  
 S. Kevin M. Brakel, P.E.  
 T. Kevin M. Brakel, P.E.  
 U. Kevin M. Brakel, P.E.  
 V. Kevin M. Brakel, P.E.  
 W. Kevin M. Brakel, P.E.  
 X. Kevin M. Brakel, P.E.  
 Y. Kevin M. Brakel, P.E.  
 Z. Kevin M. Brakel, P.E.

**Tree Preservation Plan**

Date: 5/22/15  
 Scale: 1"=20'  
 Drawn: J.F.  
 Check: J.F./K.M.  
 Joseph F. 1405229  
 David Ch. 1405229  
 View: Windows  
 File: 1405229  
 Sheet 1 of 1

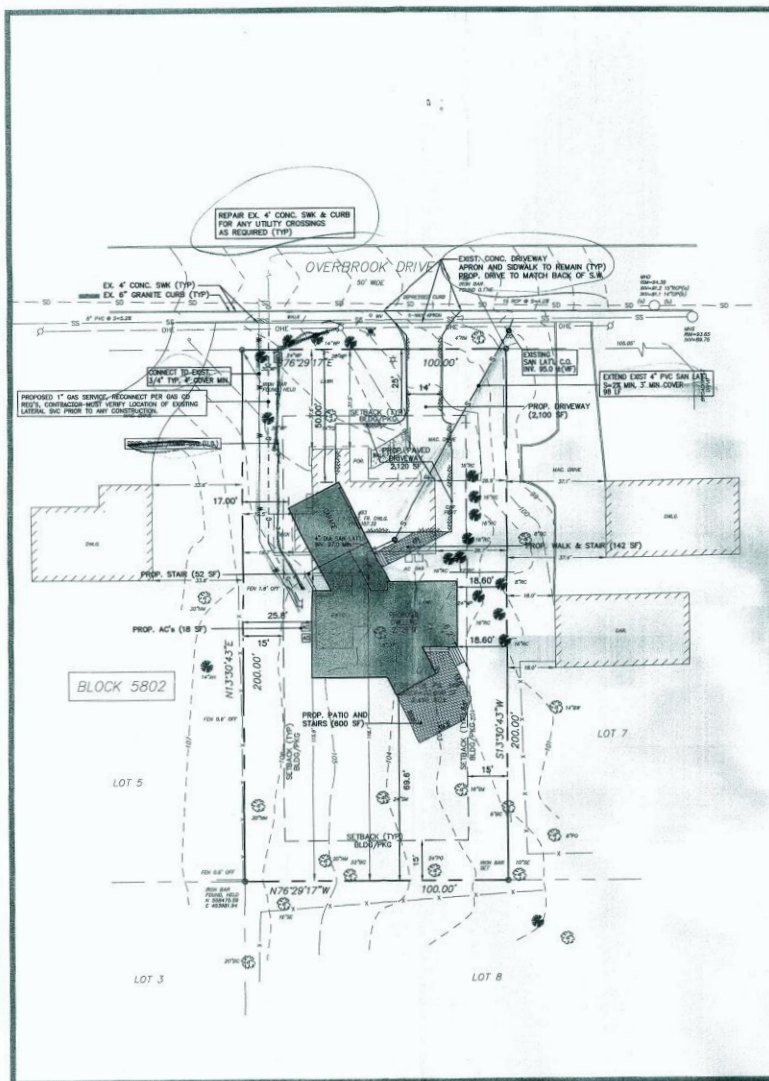
**BEFORE YOU DIG  
 IN NEW JERSEY, CALL  
 1-800-272-1000**

NOTE: Location and elevations of underground utilities and features shown  
 herein, have been collected from owner records and are not guaranteed as to  
 accuracy or completeness. The contractor shall verify all information to his  
 satisfaction prior to excavation or construction. Where existing utilities or features  
 may interfere with proposed construction, test pits shall be dug by the contractor  
 prior to construction to ascertain existing conditions and easements. Any conflicts  
 shall be resolved by the engineer prior to construction. The contractor shall be  
 responsible for obtaining all necessary permits for construction to prevent  
 judgments as required to resolve conflicts.

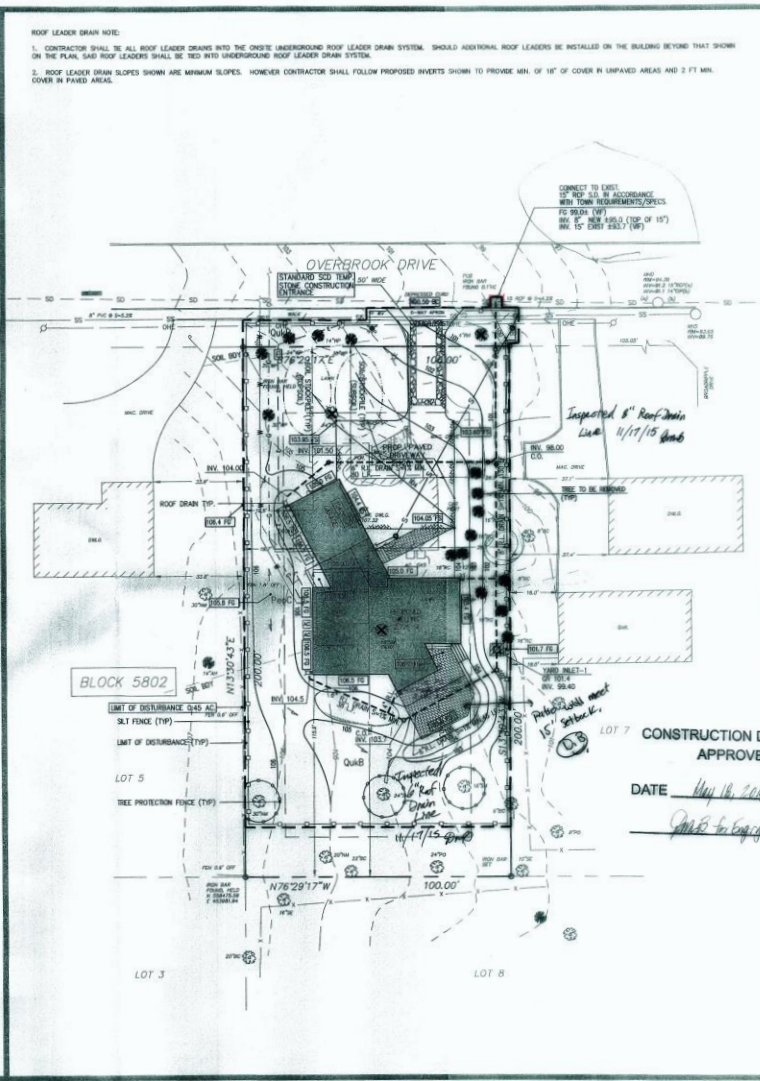
NOTE: SEE SOIL EROSION & SEDIMENT CONTROL PLANS FOR ALL SOIL DISTURBANCE  
 DETAILS AND SPECIFICATIONS.

1744 W. Lorraine & Oak  
 3/25/15





SITE & UTILITY PLAN



GRADING / UTILITY & SESC PLAN

Scale 1" = 20 ft

**LEGEND**

- 100 EXISTING CONTOUR
- 100 PROPOSED CONTOUR
- FS 100.0 SPOT ELEVATION (EXIST)
- FS 100.0 SPOT ELEVATION (PROP)
- LIMIT OF DISTURBANCE
- SILT FENCE
- TREE PROTECTION FENCE

**REVISIONS**

No.	DESCRIPTION	BY	DATE
3	REV. PER MUNICIPAL COMMENT	JAC	5/8/15
2	MUNICIPAL SUBMISSION	JAC	4/17/15
1	MDCSD PERMIT SUBMISSION	JAC	3/25/15

**KENSHO RESOURCES LLC**

380 NASSAU STREET, SECOND FLOOR  
 PRINCETON, NEW JERSEY 08540  
 PH. (609) 924-1091  
 FAX. (609) 924-1092  
 JRM@KENSHORESOURCES.COM

JAMES J. CHMELAK, JR. PE, PP  
 PROFESSIONAL ENGINEER & PLANNER  
 NJ P.E. NO. 34054793 NJ P.P. 58892

**CONSTRUCTION DRAWINGS**

APPROVED

DATE May 18, 2015

*James J. Chmelak, Jr.*

**PRINCETON  
MERCER COUNTY, NEW JERSEY**

**SHEET TITLE:**

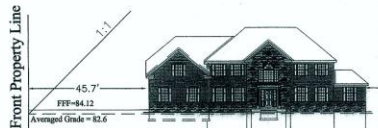
**SITE / GRADING /  
UTILITY & SESC PLAN**

DESIGNED BY	MF	SHEET NO.
CHECKED BY	JC	1
SCALE	AS NOTED	
FILENAME	PLAN.DWG	
JOB NO.	14028A	
DATE	3/25/15	





Left Elevation



Front Elevation

## Building Height to Setback Ratio

### Legend:

82.6	Proposed Plot Elevation
82	Proposed Elevation Contour Line
FFP-84.12	Proposed First Floor Elevation
FFP-84.12	Proposed Second Floor Elevation
FFP-74.67	Existing Elevation Contour Line
36" x 8" sanitary sewer @ 0.50	Existing Sanitary Sewer Pipe
4"	Proposed 4" PVC Sanitary Sewer Lateral with cleanout
1 1/2"	Proposed 1 1/2" exterior lateral
2"	Proposed 2" Conduit Underground Wire Served Utilities
4"	Proposed 4" PVC Roof Leader Header System @ 1.00
4"	Proposed 4" PVC Roof Leader Header System @ 0.50
1"	Proposed 1" Gas Connection
4"	Existing Concrete Curb Line
4"	Proposed Tree Protection Fence
4"	Existing Overhead Utilities
4"	Existing Utility Pole & Number
4"	Existing Tree & Number (to remain)
4"	Existing Tree & Number (to be removed)

**Note:** Location and elevations of underground utilities and features shown herein, have been collected from various sources and are not guaranteed as to accuracy or completeness. The contractor shall verify all information to his satisfaction prior to excavation or construction. Where existing utilities or features may interfere with proposed construction, test pits shall be dug by the contractor prior to construction to ascertain existing locations and elevations. Any conflicts shall be brought to the attention of the engineer prior to construction to permit adjustments as required to resolve conflicts.

### Princeton Township Construction Notes:

1. Electric, Telephone, CATV and all other wire served utility extensions shall be installed underground in accordance with standards established by the servicing utility company, and approved by the Municipal Engineer.
2. All construction to be in accordance with the first construction plans as approved by the Municipal Engineer, and appropriate municipal construction details. There shall be no field changes without the prior approval of the Municipal Engineer.
3. All areas where natural vegetation and/or specimen trees are to remain shall be protected by the erection of fencing, and no disturbance shall occur prior to inspection by the Township Engineer and the issuance of written authorization to proceed with construction. These protective measures shall not be altered or removed without the approval of the Municipal Engineer.
4. Tree Protection Fencing shall be installed on the proposed Disturbance Limit Line.
5. Silt Fencing, Tree Protection Fencing, & Stabilized Construction Entrance shall be installed prior to any land disturbance and/or construction.
6. The Contractor shall be responsible for keeping roads clean, and for maintaining all Soil Erosion & Sediment Control Measures during all phases of construction.
7. All exterior lighting shall be shielded away from adjoining properties and shall be a motion detecting type.

### Soil Erosion Notes:

1. The proposed disturbance is 12,400 sq. ft. or 0.285 acres.
2. See sheets 2 & 3 for all soil erosion & sediment control measure details.
3. Topsoil should be stripped and stockpiled separately from sub-soil.
4. The gutters and roof downspouts shall discharge to silt trap blocks.

### Reference Plans:

1. "Plan of Survey of Lot 18, Block 4701 for Alliance Homes LLC Princeton Municipal County New Jersey," dated 11-30-12, dated February 23, 2015 and prepared by Princeton Junction Engineering, P.C.; D. Geoffrey Brown, RA/ES & 24327.
2. "Plan of Strip Drain Erosion Submittal No. 2," dated & developed by Princeton Construction Co., Princeton, New Jersey, dated October 1983, amended November 7, 1983 prepared by C.S. Sweeney Civil Engineer and filed in the Mercer County Clerk's office on January 14, 1984 as Map No. 999.

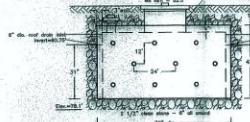
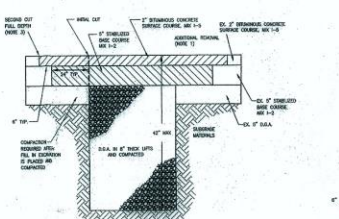
Trench Surface Replacement Shallow Excavation Detail  
not to scale

Modern 700 Gallon Seepage Tank Detail  
42" seepage tank - not to scale

Typical Trench

### Roof Drain to Storm Sewer System

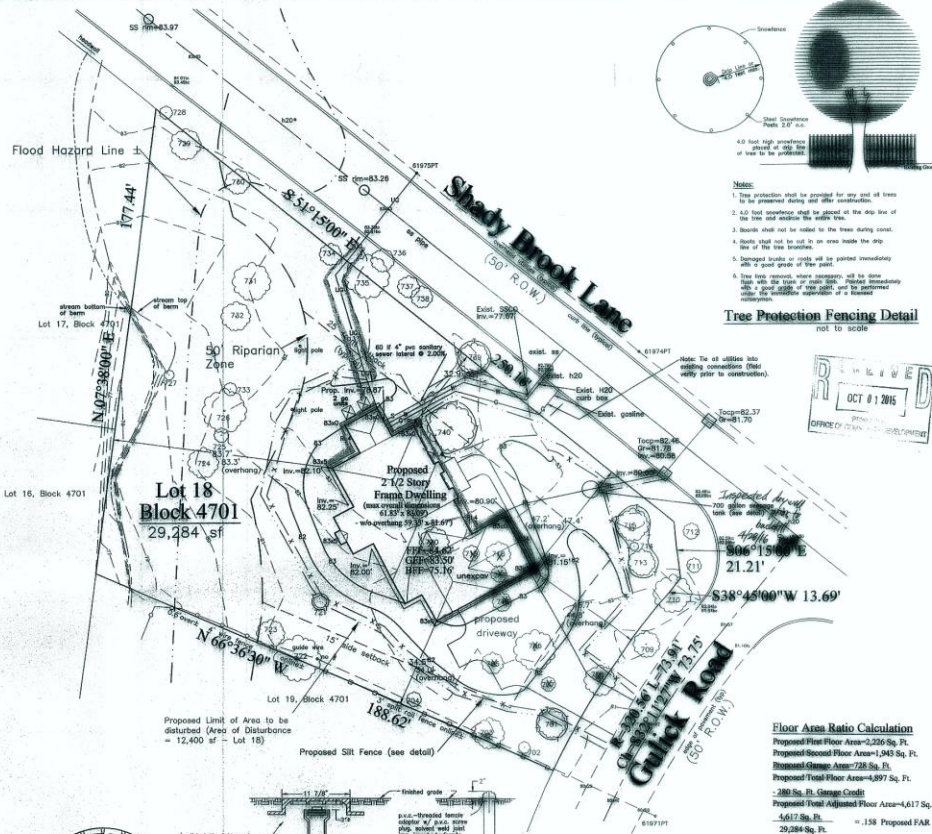
not to scale



Standard House Connection Detail  
not to scale

### Tree Identification List

Tree ID	Species	DBH (in)	Height (ft)	Notes
701	Red Maple	12	25	Remove
702	Red Maple	12	25	Remove
703	Red Maple	12	25	Remove
704	Red Maple	12	25	Remove
705	Red Maple	12	25	Remove
706	Red Maple	12	25	Remove
707	Red Maple	12	25	Remove
708	Red Maple	12	25	Remove
709	Red Maple	12	25	Remove
710	Red Maple	12	25	Remove
711	Red Maple	12	25	Remove
712	Red Maple	12	25	Remove
713	Red Maple	12	25	Remove
714	Red Maple	12	25	Remove
715	Red Maple	12	25	Remove
716	Red Maple	12	25	Remove
717	Red Maple	12	25	Remove
718	Red Maple	12	25	Remove
719	Red Maple	12	25	Remove
720	Red Maple	12	25	Remove



Tree Protection Fencing Detail  
not to scale

### Floor Area Ratio Calculation

Proposed First Floor Area	2,226 Sq. Ft.
Proposed Second Floor Area	1,943 Sq. Ft.
Proposed Total Floor Area	4,169 Sq. Ft.
2,280 Sq. Ft. Garage Credit	
Proposed Total Adjusted Floor Area	4,617 Sq. Ft.
4,617 Sq. Ft.	= .158 Proposed FAR
29,284 Sq. Ft.	

### Impervious Coverage Calculation

Existing	Proposed
Driveway	2,666
Driveway	854
Walls/Steps	524
Total	4,044
MIC = 4,044	0.138
20,984 sq. ft.	MIC = 5,333 = 0.182

### Zoning Regulations - Zone R-5

Use	Front	Side	Back
Residential Single-Family	10	10	10
Residential Medium-Density	15	15	15
Residential High-Density	20	20	20
Commercial	25	25	25
Industrial	30	30	30
Office	35	35	35
Public	40	40	40
Religious	45	45	45
Community	50	50	50
Other	55	55	55

### Graphic Scale



**Princeton Junction Engineering, P.C.**  
Professional Engineers, Land Surveyors and Planners  
P.O. Box 610 - 53 North Road Road  
Princeton Junction, New Jersey 08550  
Telephone: 609-799-1000 Fax: 609-799-1330 Email: info@pjeng.com

**D. Geoffrey Brown**  
RA/ES & 24327  
Professional Engineer  
Princeton Junction, New Jersey 08550  
P.O. Box 610 - 53 North Road Road  
Princeton Junction, New Jersey 08550  
Telephone: 609-799-1000 Fax: 609-799-1330 Email: info@pjeng.com

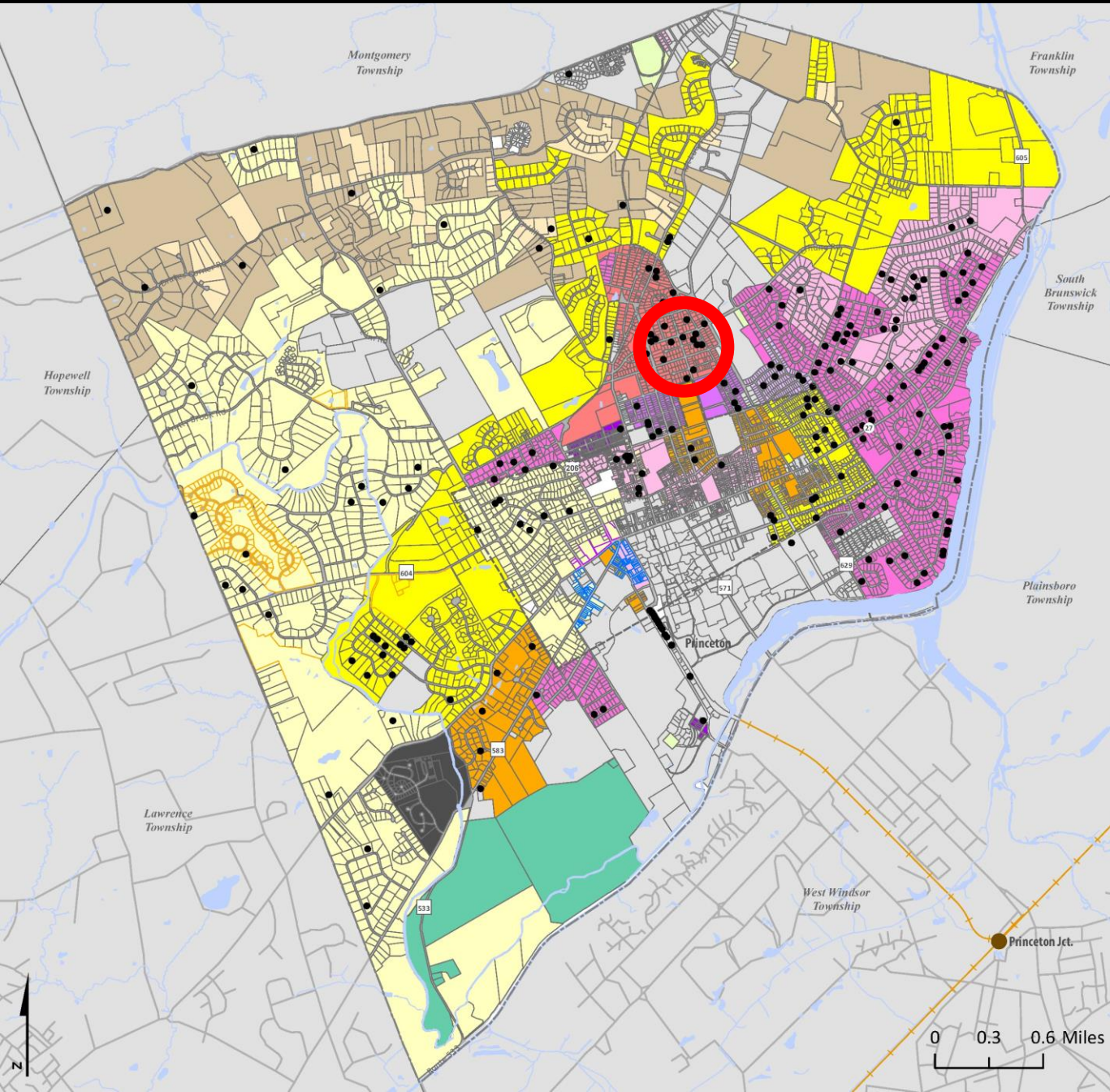
**Site Development Plan**  
APPROVED  
DATE: 10-14-2015  
Signature: [Signature]

Date: June 30, 2015  
Scale: 1"=20'  
Drawn: MC  
Check: BR

Job # 17130515  
Design/Plan  
View/Plan  
File #



# Township Zoning – R-6 District



## Legend

### Township Zoning

	Non-Resi
	R1
	R104; R190
	R1AH
	R1R2
	R2
	R2AH
	R3
	R4
	R5
	R6
	R7
	R8
	R9
	RA; RAB; RAOR
	RB; RBOR
	RH/8; RH/12
	RHFV
	RM
	Railroad

### Borough Zoning

	Non-Resi
	R01P
	R1
	R1HP
	R1MP
	R2
	R3
	R3JP
	R3MP
	R4
	R4MP
	R5
	R9
	RB
	Demolition Permits (2005-2016)*
	Former Princeton Borough
	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ  
 Produced by: The RBA Group  
 Date: September 2016  
 Source: Building Department

0 0.3 0.6 Miles

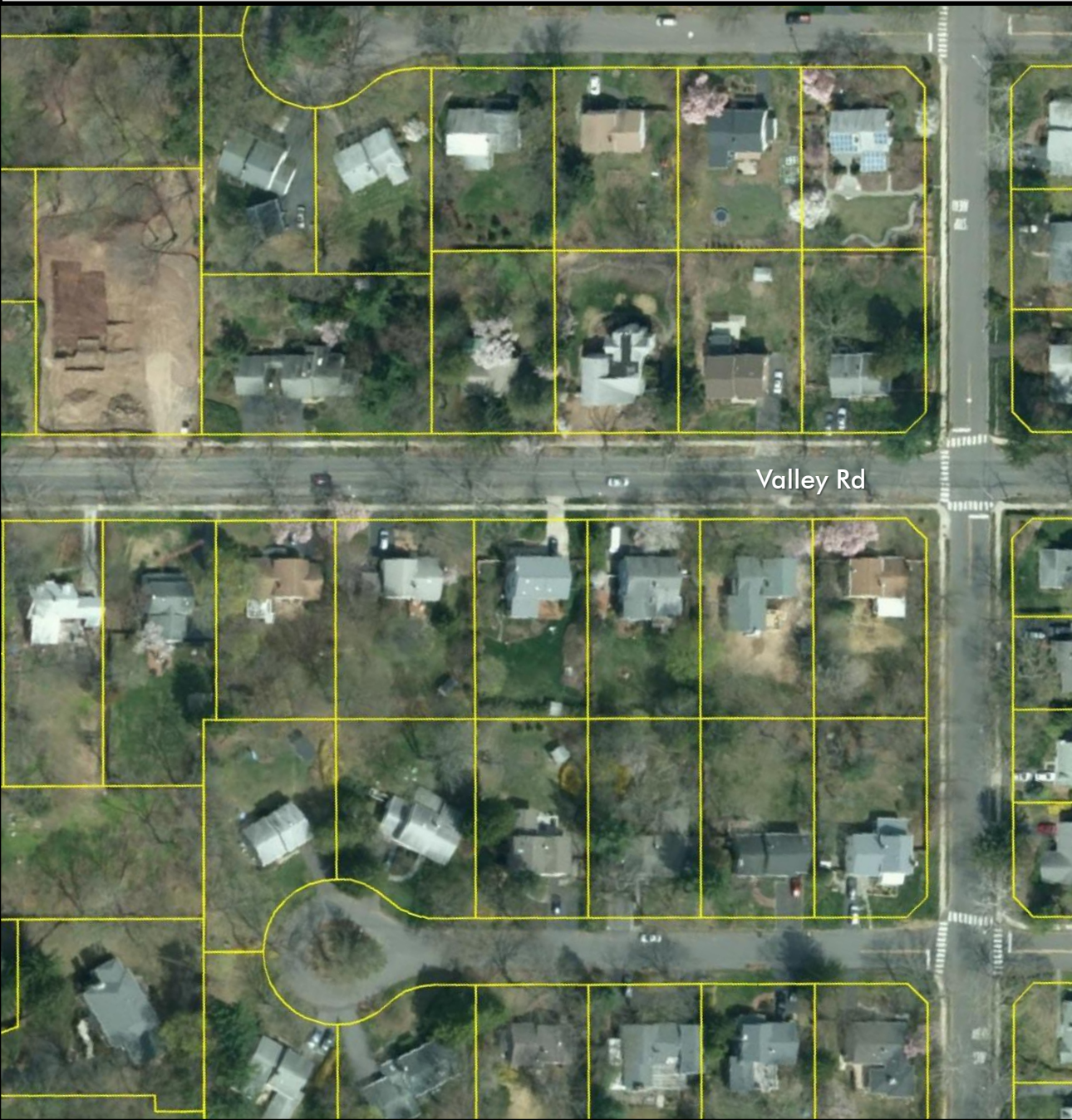


# Township Zoning – R-6 District

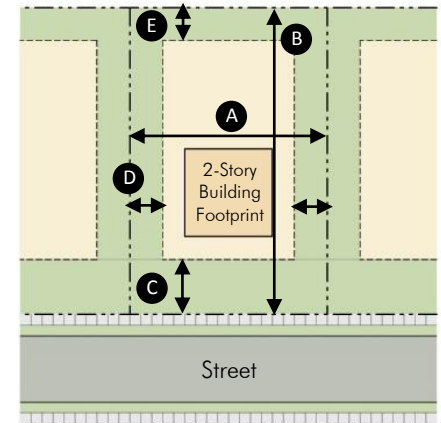




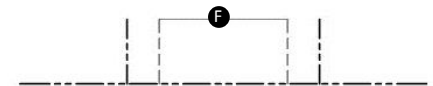
# Township Zoning – R-6 District



**Typical Lot Diagram**



**Setback-Height Diagram**



## Zoning Schedule

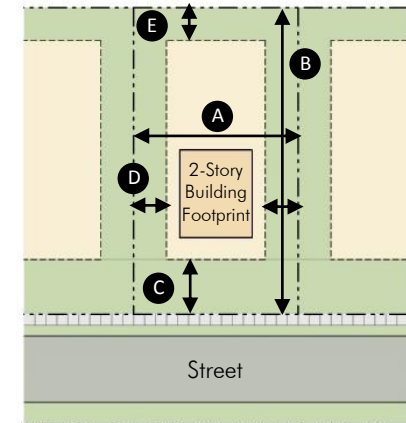
	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	10,890	12,600	
Lot Width (ft)	85	90	A
Lot Depth (ft)	85	140	B
<b>Setbacks</b>			
Front Yard (ft)	25		C
Side Yard (Smaller)	15		D
Side Yard (Combined)	N/A		
Rear Yard (ft)	15		E
Setback-Height Ratio	N/A	30' Max.	F
<b>Coverage/FAR</b>			
Max. FAR	0.25	3,150 SF	



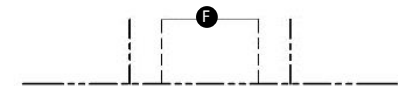
# Township Zoning – R-6 District



**Typical Lot Diagram**



**Setback-Height Diagram**



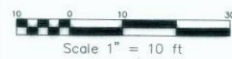
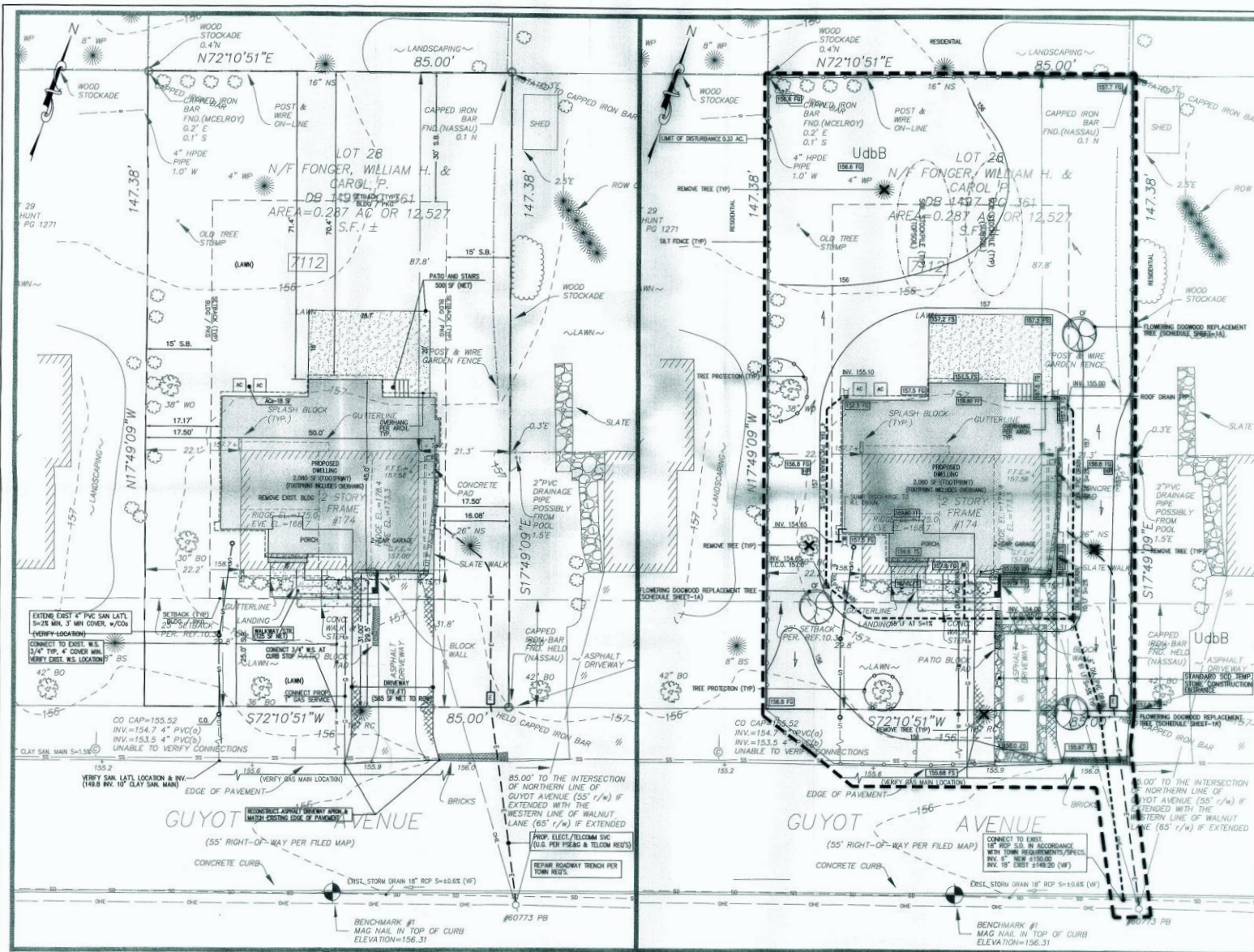
## Zoning Schedule

	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	10,890	10,500	
Lot Width (ft)	85	75	<b>A</b>
Lot Depth (ft)	85	140	<b>B</b>
<b>Setbacks</b>			
Front Yard (ft)	25		<b>C</b>
Side Yard (Smaller)	15		<b>D</b>
Side Yard (Combined)	N/A		
Rear Yard (ft)	15		<b>E</b>
Setback-Height Ratio	N/A	30' Max.	<b>F</b>
<b>Coverage/FAR</b>			
Max. FAR	0.25	2,625 SF	









LEGEND	
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
FG 100.0	SPOT ELEVATION (EXIST)
FG 100.0	SPOT ELEVATION (PROP)
---	LIMIT OF DISTURBANCE
---	SILT FENCE
---	TREE PROTECTION FENCE

REVISIONS		
No.	DESCRIPTION	BY DATE
1	REV. PER MUNICIPAL COMMENT	JAC 8/17/15

**KENSHO RESOURCES LLC**  
 380 NASSAU STREET, SECOND FLOOR  
 PRINCETON, NEW JERSEY 08540  
 PH. (609) 924-1091  
 FAX. (609) 924-1092  
 JMK@KENSHORESOURCES.COM  
 8/17/15

JAMES J. CHMELAR, P.E., P.F.  
 PROFESSIONAL ENGINEER & PLANNER  
 N.J. P.E. NO. 24024783 N.J. P.F. 05892

PROJECT:

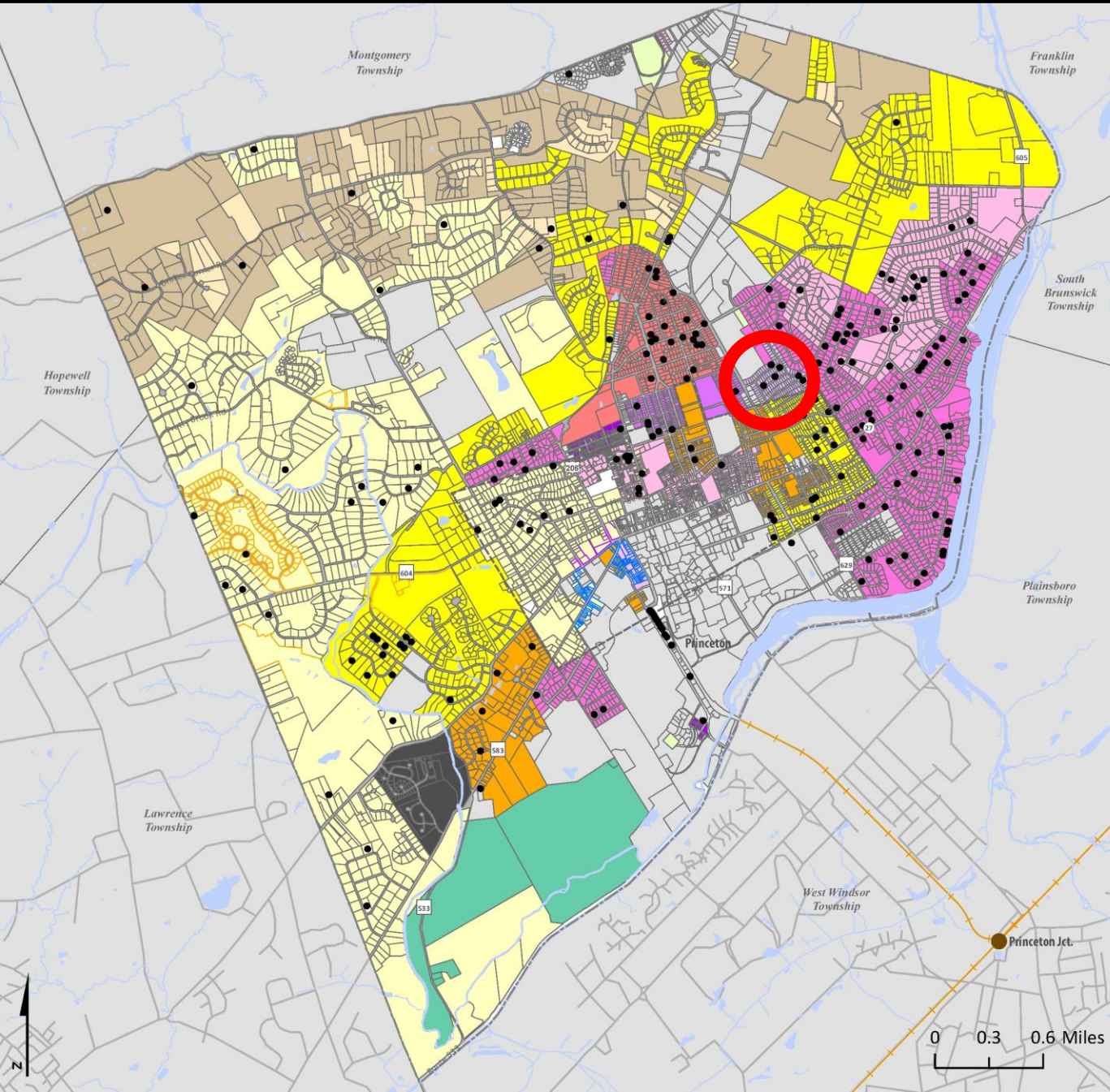
**PRINCETON  
 MERCER COUNTY, NEW JERSEY**

**SITE / GRADING /  
 UTILITY & SESC PLAN**

DESIGNED BY	MF	SHEET NO.
CHECKED BY	JAC	1
SCALE	AS NOTED	
FILENAME	GUYOT.DWG	
JOB NO.	15015	
DATE	7/23/15	



# Township Zoning – R-7 District



## Legend

### Township Zoning

[Light Gray Box]	Non-Resi
[Yellow Box]	R1
[Light Yellow Box]	R104; R190
[Light Yellow Box]	R1AH
[Light Yellow Box]	R1R2
[Yellow Box]	R2
[Yellow Box]	R2AH
[Orange Box]	R3
[Pink Box]	R4
[Pink Box]	R5
[Pink Box]	R6
[Purple Box]	R7
[Light Purple Box]	R8
[Light Purple Box]	R9
[Light Gray Box]	RA; RAB; RAOR
[Light Gray Box]	RB; RBOR
[Light Green Box]	RH/8; RH/12
[Light Green Box]	RHFW
[Gray Box]	RM
[Orange Line]	Railroad

### Borough Zoning

[Light Gray Box]	Non-Resi
[Yellow Box]	R01P
[Light Yellow Box]	R1
[Light Yellow Box]	R1HP
[Light Yellow Box]	R1MP
[Yellow Box]	R2
[Orange Box]	R3
[Orange Box]	R3JP
[Orange Box]	R3MP
[Pink Box]	R4
[Pink Box]	R4MP
[Pink Box]	R5
[Purple Box]	R9
[Light Gray Box]	RB
[Black Dot]	Demolition Permits (2005-2016)*
[Dashed Line]	Former Princeton Borough
[Gray Dot]	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

Produced by: The RBA Group

Date: September 2016

Source: Building Department



# Township Zoning – R-7 District

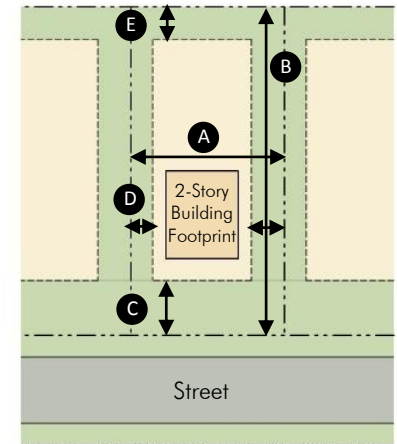




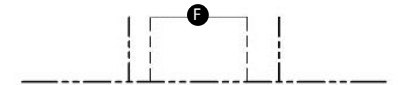
# Township Zoning – R-7 District



**Typical Lot Diagram**



**Setback-Height Diagram**



## Zoning Schedule

	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	10,890	10,500	
Lot Width (ft)	60	70	<b>A</b>
Lot Depth (ft)	60	150	<b>B</b>
<b>Setbacks</b>			
Front Yard (ft)	25		<b>C</b>
Side Yard (Smaller)	10		<b>D</b>
Side Yard (Combined)	25		
Rear Yard (ft)	15		<b>E</b>
Setback-Height Ratio	N/A	30' Max.	<b>F</b>
<b>Coverage/FAR</b>			
Max. FAR	0.25	2,625 SF	





TREE LIST							
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED	HT.	CAULER	REMARKS
AR	2	ACER RUBRUM	RED MAPLE	10'-12'	2"-2.5"	0 + 0	



### LEGEND

100 — EXISTING CONTOUR

100 — PROPOSED CONTOUR

FG 100.0<sub>g</sub> SPOT ELEVATION (EXIST)

FG 100.0 SPOT ELEVATION (PROP)

————— LIMIT OF DISTURBANCE

○ ○ SILT FENCE

○ ○ TREE PROTECTION FENCE

REVISIONS			
No.	DESCRIPTION	BY	DATE
3	REV. PER MUNICIPAL COMMENT	JJC	5/12/15
2	MUNICIPAL SUBMISSION	JJC	4/17/15
1	MCSO PERMIT SUBMISSION	JJC	3/25/15

## KENSHO RESOURCES LLC

360 NASSAU STREET, SECOND FLOOR  
PRINCETON, NEW JERSEY 08540  
PH. (609) 924-1091

FAX, (609) 924-1092

JIM@KENSLORESOURCES.COM



5.

CHMIELAK, JR., PE, PP  
REGIONAL ENGINEER & PLANNER

NO. 24GE044793 N.J. P.P. 05892

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## REFERENCES

PRINCETON

ER COUNTY, NEW JERSEY

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SITE / GRADING /

SITE / GRADING /

LITY &amp; SESC PL

1.00	2.00
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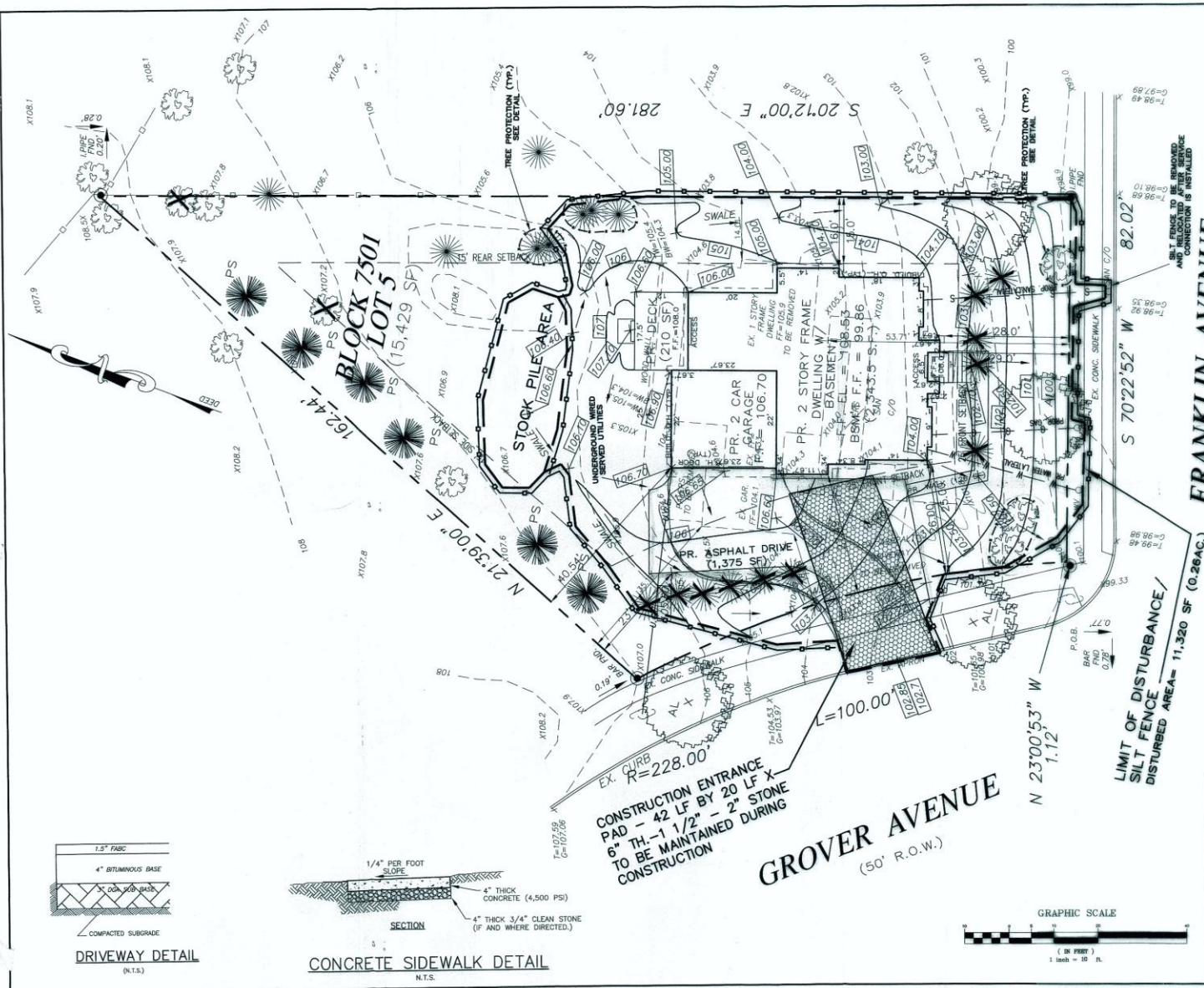
PLAN.DWG

14019

3/25/15

01/01/10	
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**R-7.0 ZONING REQUIREMENTS**

	REQUIRED	PROPOSED
MIN. LOT AREA	10,890 SF	15,429 SF (0.35 AC.)
MIN. LOT WIDTH	60'	84.5'
MIN. LOT DEPTH	60'	90'
MIN. LOT FRONTAGE	30'	62.710'
<b>PRINCIPAL BUILDING</b>		
FRONT SETBACK	25'	28.0'
SIDE SETBACK	10'	40.54'
SIDE SETBACK COMBO	25'	N/A
REAR SETBACK	15'	15.0'
ACCESS: SIDE SETBACK	5'	N/A
ACCESS: REAR SETBACK	5'	29.85'
BUILDING HEIGHT	30'	24.99'
FAR	25%	24.99%
IMPERVIOUS LOT COVER	30% (4,628.74)	26.3%
W/O stormwater management		N/A
IMPERVIOUS LOT COVER	36% (5,554.44)	N/A
with stormwater management		
<b>PARKING SETBACK</b>		
FRONT	25'	25.0'
SIDE	10'	23.5'
REAR	15'	N/A
PARKING	3.0 SPACES	4 (2 GAR, 2 DRIVE)
<b>PROP. BUILDING</b>		
DECK	2,343.5 S.F.	210 SF
DRIVE/WALK	1,501 S.F.	1,501 S.F.
TOTAL	4,004.5 S.F.	2,711 S.F.
<b>BUILDING AREA: FAR</b>		
	3,856 SF TOTAL (24.99%)	

- GENERAL NOTES:**
1. SURVEY AND TOPOGRAPHIC INFORMATION PREPARED BY: KIP CONSULTING, LLC, JOHN W. LORD, NJPLS No. 32455, DATED: 8-1-14.
  2. SEWER AND WATER SERVICE CURRENTLY AVAILABLE TO SITE.
  3. LOT IS NOT LOCATED IN A FLOOD ZONE.
  4. LOT DOES NOT CONTAIN WATER COURSES, EASEMENTS OR FLOODPLAIN AREAS OR WETLAND AREAS.
  5. ELEVATIONS BASED ON ASSUMED DATUM.
  6. IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT/ SURVEYOR TO OBTAIN MOST RECENT APPROVED PLANS FROM MUNICIPALITY.
  7. PLAN BASED ON PRELIMINARY ARCHITECTURAL PLANS AND/OR DIMENSIONS PROVIDED BY CLIENT/OWNER/APPLICANT AT TIME OF PLAN PREPARATION.
  8. GRADING WITHIN 10' OF CHANGING 6" DROP REQUIRED. YARD SLOPE 2.0% MIN. / 2.0% MAX. DRIVEWAY SLOPE: 1% MIN., 5% MAX.
  9. APPROVED TREE HANDLING PLAN REQUIRED PRIOR TO ZONING REVIEW.
  10. ALL PROPOSED WIRE SERVICES UTILITIES (ELECTRIC, CABLE, TELEPHONE) TO BE INSTALLED UNDERGROUND.

4	REV. DRIVE PER CLIENT REQUEST	4-4-2016	DMS
3	REV. PER ZONING OFFICER COMMENTS	5-20-15	DMS
2	REV. PER TWP ENGINEERS OFFICE COMMENTS	8-7-15	DMS
1	REV. PER TWP ENGINEERS OFFICE COMMENTS	1-19-15	DMS
NO	REVISION	DATE	BY DMS

**GRADING PLAN/SOIL EROSION AND SEDIMENT CONTROL PLAN**

PRINCETOWN TOWNSHIP, MERCER COUNTY, NEW JERSEY

**ENGINEERING GROUP, LLC**  
CIVIL/CONSULTING ENGINEER

29 BLUM STREET TEL: (732) 588-9249  
BEACHWOOD, NJ 08012 FAX: (732) 581-2778

**SHEET No.**  
1 of 2

**DRAWN BY:** DMS

**SCALE:** 1"=10'

**DATE:** 9-2-2014

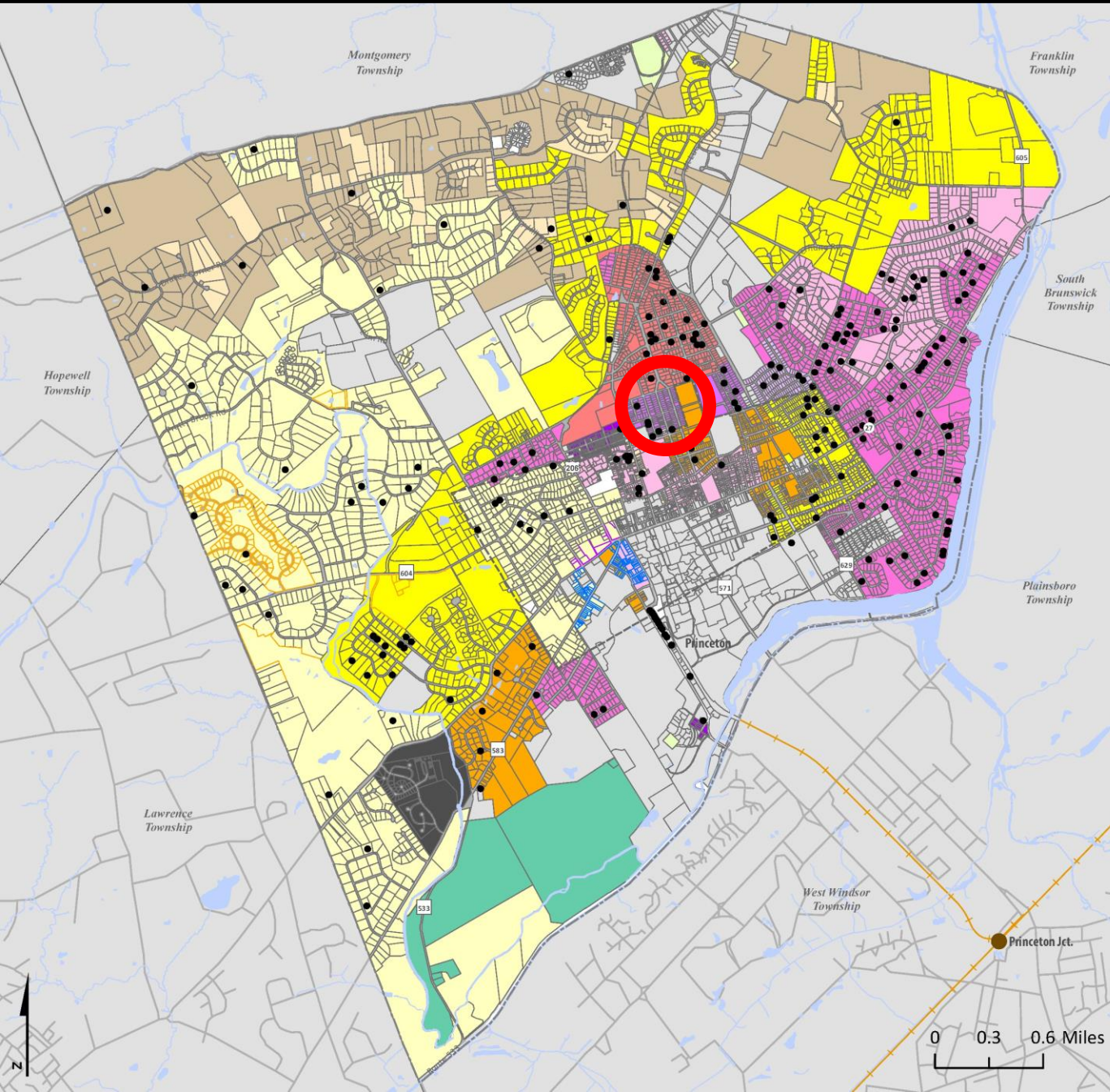
**DONNA M. BULLOCK, P.E.** DATE

PROFESSIONAL ENGINEER, NEW JERSEY LICENSE NO. 240204193100

JOB NO. 14020-PRINCETON



# Township Zoning – R-8 District



## Legend

### Township Zoning

	Non-Resi
	R1
	R104; R190
	R1AH
	R1R2
	R2
	R2AH
	R3
	R4
	R5
	R6
	R7
	R8
	R9
	RA; RAB; RAOR
	RB; RBOR
	RH/8; RH/12
	RHFV
	RM
	Railroad

### Borough Zoning

	Non-Resi
	R01P
	R1
	R1HP
	R1MP
	R2
	R3
	R3JP
	R3MP
	R4
	R4MP
	R5
	R9
	RB
	Demolition Permits (2005-2016)*
	Former Princeton Borough
	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ  
 Produced by: The RBA Group  
 Date: September 2016  
 Source: Building Department

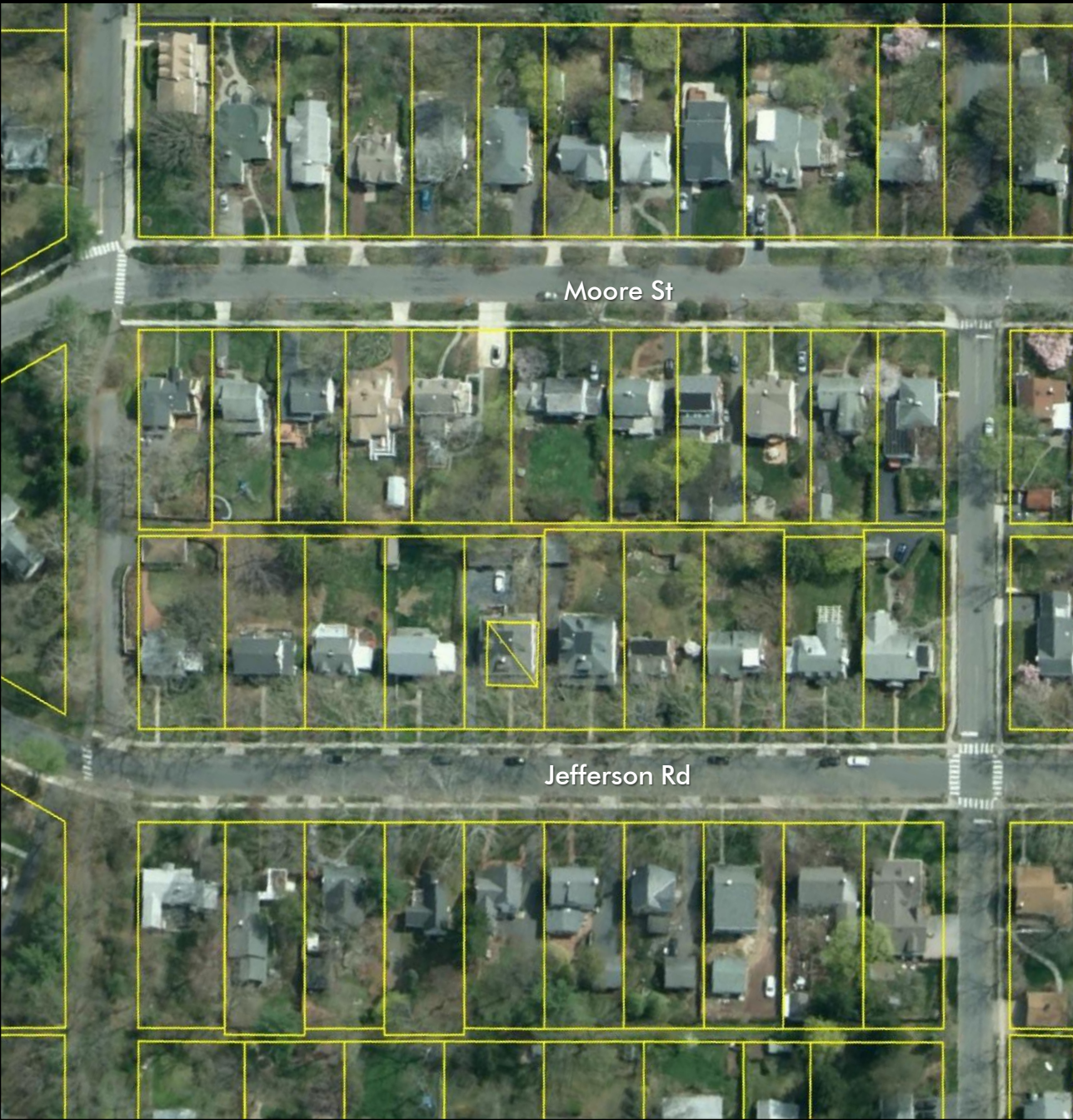


# Township Zoning – R-8 District

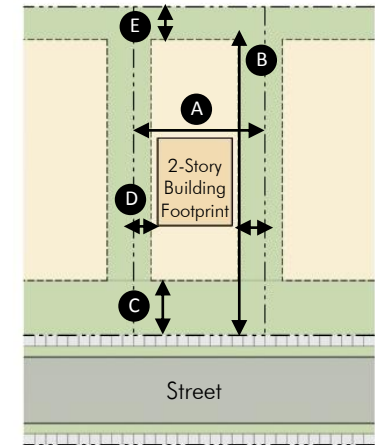




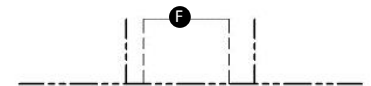
# Township Zoning – R-8 District



**Typical Lot Diagram**



**Setback-Height Diagram**

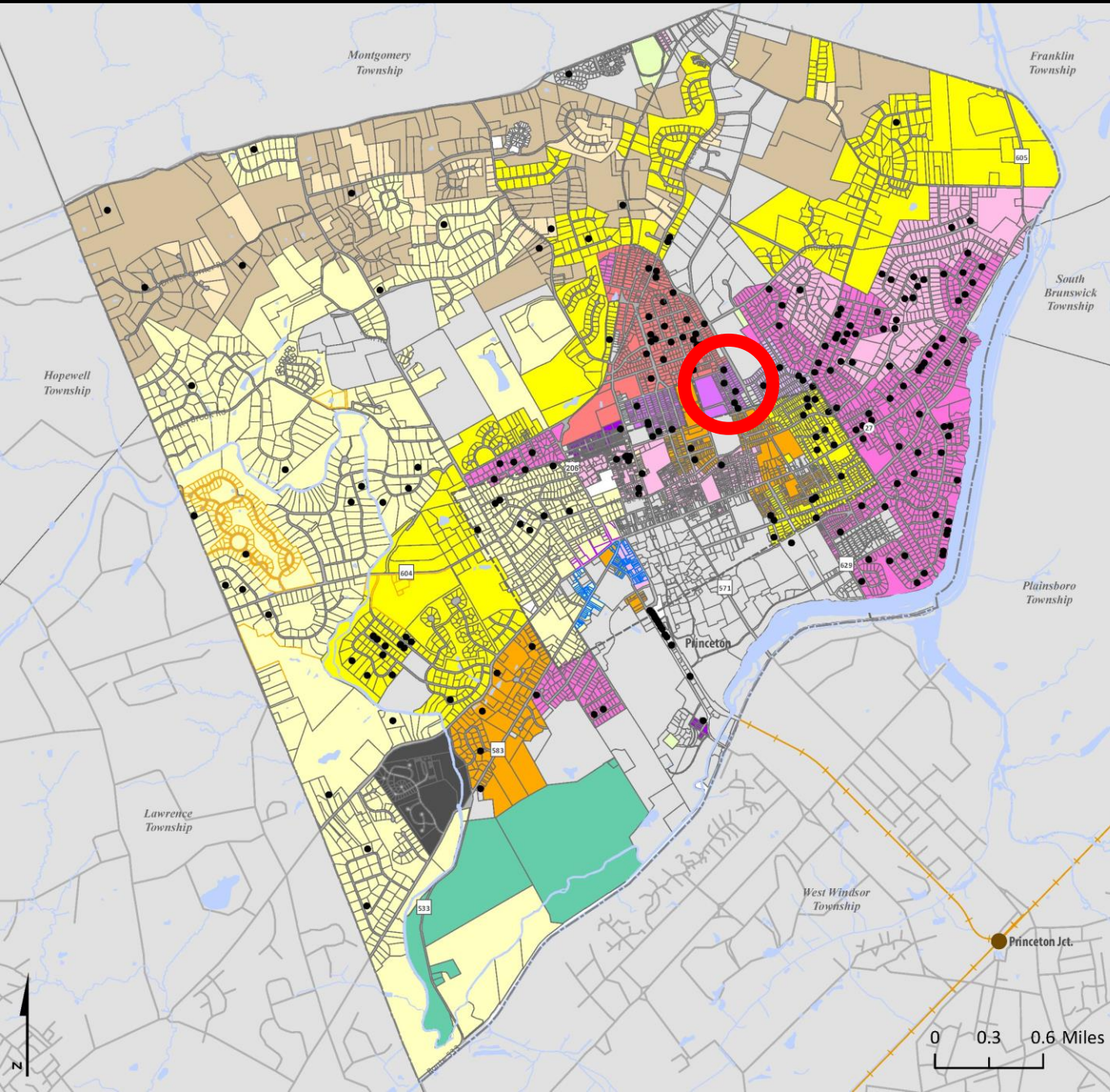


## Zoning Schedule

	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	8,500	9,000	
Lot Width (ft)	50	60	A
Lot Depth (ft)	50	150	B
<b>Setbacks</b>			
Front Yard (ft)	25		C
Side Yard (Smaller)	8		D
Side Yard (Combined)	20		
Rear Yard (ft)	15		E
Setback-Height Ratio	N/A	30' Max.	F
<b>Coverage/FAR</b>			
Max. FAR	0.30	2,700 SF	



# Township Zoning – R-8 District



## Legend

### Township Zoning

	Non-Resi
	R1
	R104; R190
	R1AH
	R1R2
	R2
	R2AH
	R3
	R4
	R5
	R6
	R7
	R8
	R9
	RA; RAB; RAOR
	RB; RBOR
	RH/8; RH/12
	RHFV
	RM
	Railroad

### Borough Zoning

	Non-Resi
	R01P
	R1
	R1HP
	R1MP
	R2
	R3
	R3JP
	R3MP
	R4
	R4MP
	R5
	R9
	RB
	Demolition Permits (2005-2016)*
	Former Princeton Borough
	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

Produced by: The RBA Group

Date: September 2016

Source: Building Department



# Township Zoning – R-8 District

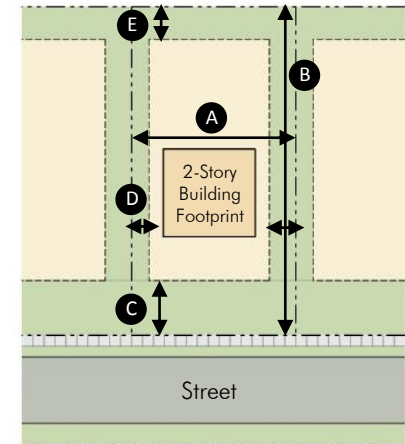




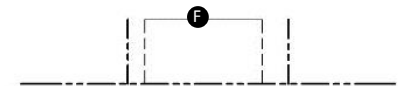
# Township Zoning – R-8 District



**Typical Lot Diagram**



**Setback-Height Diagram**



## Zoning Schedule

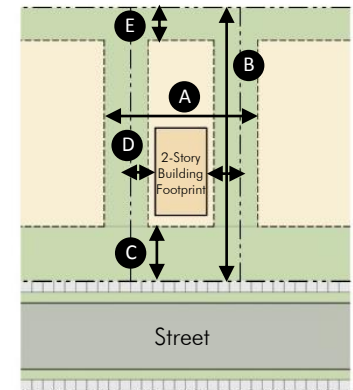
	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	8,500	11,250	
Lot Width (ft)	50	75	A
Lot Depth (ft)	50	150	B
<b>Setbacks</b>			
Front Yard (ft)	25		C
Side Yard (Smaller)	8		D
Side Yard (Combined)	20		
Rear Yard (ft)	15		E
Setback-Height Ratio	N/A	30' Max.	F
<b>Coverage/FAR</b>			
Max. FAR	0.30	3,375 SF	



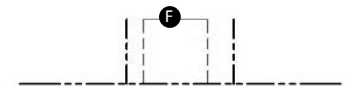
# Township Zoning – R-8 District



**Typical Lot Diagram**



**Setback-Height Diagram**



Zoning Schedule	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	8,500	6,250	
Lot Width (ft)	50	50	A
Lot Depth (ft)	50	125	B
<b>Setbacks</b>			
Front Yard (ft)	25		C
Side Yard (Smaller)	8		D
Side Yard (Combined)	20		
Rear Yard (ft)	15		E
Setback-Height Ratio	N/A	30' Max.	F
<b>Coverage/FAR</b>			
Max. FAR	0.30	1,875 SF	











# CONSTRUCTION NOTES

1. THE MUNICIPAL ENGINEER'S OFFICE SHALL BE NOTIFIED AT LEAST 24 HOURS BEFORE THE START OF WORK ON ANY IMPROVEMENTS UNDER ITS JURISDICTION.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, EXISTING CONDITIONS AND UTILITY LOCATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER IMMEDIATELY.
3. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE MUNICIPAL, COUNTY OR STATE REGULATIONS, WHICHEVER TAKES PRECEDENCE.
4. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, INCLUDING THE COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE START OF CONSTRUCTION AND AS NECESSARY THROUGH PROJECT COLLECTION.
5. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, LICENSES AND INSURANCES, PAY ALL LICENSE FEES AND GIVE NOTICES NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL PROSECUTION OF THE PROJECT.
6. NO DISTURBANCES SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINE WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNERS DIRECTLY AFFECTED.
7. INADEQUATE INSPECTION OF WORKMANSHIP SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND REGULATIONS AND TO OBTAIN WRITTEN APPROVAL OF MUNICIPAL OFFICIALS AND ACCEPTANCE OF THE CONTRACTOR BY THE OWNER.
8. ALL CONCRETE USED FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI OR AS REQUIRED BY THE APPROVAL AUTHORITY.
9. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INDIVIDUALLY AND SHALL NOTIFY THE UNDERGROUND UTILITIES NOTIFICATION SERVICE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION BY CALLING 1-800-275-3886.
10. TOPSOIL SHALL NOT BE REMOVED FROM THE SITE OR USED AS FILL, UNLESS DIRECTED BY THE MUNICIPAL ENGINEER AND IN CONFORMANCE TO AN APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.

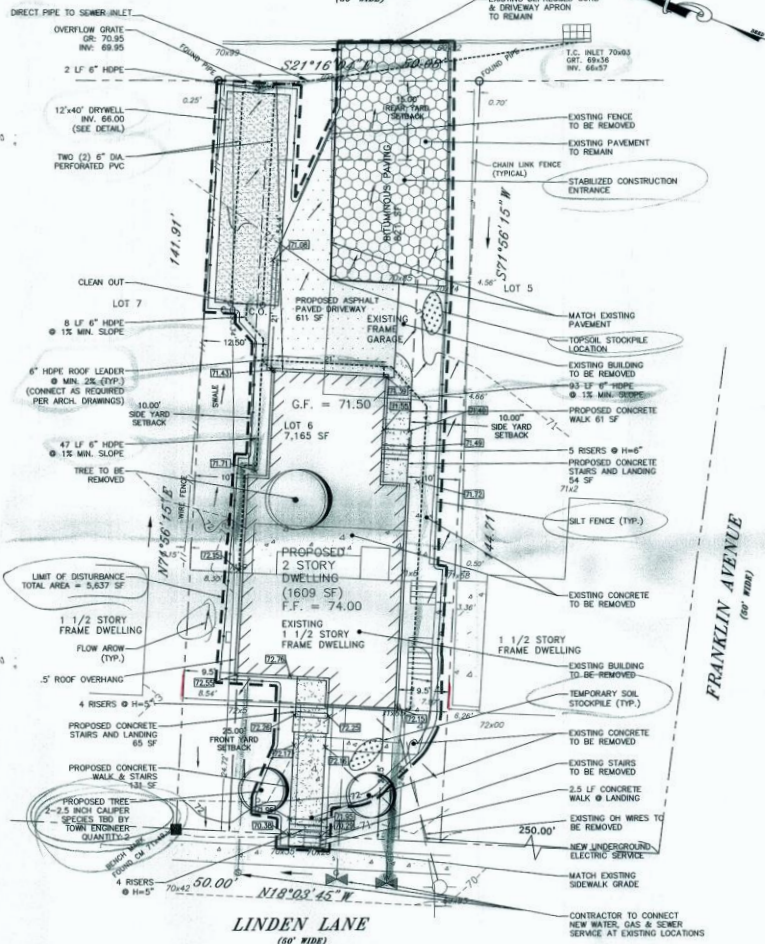
## GRADING NOTES

1. THE CONTRACTOR SHALL NOTIFY UNDERGROUND LOCATION SERVICE AT 8-11 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF EXCAVATION WORK.
2. ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS OF THE LOCAL SOIL CONSERVATION DISTRICT, AND AS PER APPROVAL PLAN.
3. PROPOSED GROUND SLOPES SHALL NOT EXCEED 3:1.
4. ALL GRADING SHALL PROMOTE POSITIVE DRAINAGE FROM BUILDINGS AND STRUCTURES TO DRAINAGE FACILITIES WITHOUT LOW SPOTS THAT CAUSE FLOODING.
5. THE MINIMUM SLOPE IN GRASSED AREAS SHALL NOT BE LESS THAN 1% AND THE MINIMUM IN PAVED AREAS SHALL NOT BE LESS THAN 0.75%.
6. THERE ARE TO BE NO STEEP SLOPES DISTURBED DURING CONSTRUCTION AND/OR GRADING ACTIVITIES.
7. ALL SEDIMENT WASHED, TRACKED, DROPPED OR SPILLED ONTO PAVED SURFACES SHALL BE IMMEDIATELY REMOVED.
8. EXCAVATED MATERIAL TO BE KEPT ON SITE FOR LATER USE.

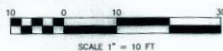
## LANDSCAPING NOTES

1. ALL PLANT MATERIALS SHALL BE OF NURSERY STOCK AND SHALL BE OF SYMMETRICAL GROWTH, FREE OF INSECTS, FUNGI AND DISEASE. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND APPROVE ALL PLANT MATERIALS AND REJECT ANY PLANTS FOUND TO BE UNACCEPTABLE.
2. COORDINATE ALL TREE LOCATIONS WITH SITE LIGHTING AND DRAINAGE STRUCTURES. ALL PLANTINGS TO BE KEPT 8' AWAY FROM ANY DRAINAGE STRUCTURE.
3. DAMAGE TO EXISTING OR NEW WORK BY CONTRACTOR SHALL BE REPAIRED AT HIS EXPENSE.
4. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO THE SUBMISSION OF BIDS.
5. REFER TO MECHANICAL AND SITE DRAWINGS FOR UTILITY INFORMATION. CONTRACTOR SHALL VERIFY PLANT LIST QUANTITIES INDICATED ON PLANS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN QUANTITIES PRIOR TO SUBMISSION OF BIDS.
6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY WITH REGARDS TO THE CARRYING, STORING AND PLANTING OF MATERIALS TO PROTECT ADJACENT FRAGMENT AREAS.
7. PLANT MATERIALS SHALL BE MAINTAINED BEFORE, DURING AND AFTER IN THE BEST HISTORICAL CONDITION. CONTRACTOR SHALL PRUNE ALL DEAD OR DISEASED LIMBS, BRANCHES AND CANES FROM EXISTING DECIDUOUS AND CONIFEROUS TREES. METHODS SHALL REFLECT BEST HORTICULTURAL PRACTICES AS OUTLINED IN THE AMERICAN NURSERYMEN ASSOCIATION CERTIFICATION AND STANDARDS LATEST EDITION.
8. THE CONTRACTOR SHALL ENSURE THAT ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH ROOT BALL AND BURLAP INTACT.
9. THE CONTRACTOR SHALL PRUNE ALL PLANT MATERIALS REMOVING APPROXIMATELY ONE THIRD OF THE GROWTH AND REMOVAL ALL DEAD OR DISEASED LIMBS, BRANCHES, GRADE NEW PLANTING AREAS TO MAINTAIN THE EXISTING DRAINAGE PATTERN.
10. ALL TOPSOIL SHALL BE SUBJECT TO THE PROVISIONS OF NJDOT TECHNICAL REQUIREMENTS FOR SITE REMEDIATION (NJAC 7:26-4.4-9.2).
11. THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIALS PER THE PLANTING DETAILS.
12. THE CONTRACTOR SHALL REPLACE ANY PLANT MATERIALS WITHIN ONE GROWING SEASON FOR PLANT MATERIALS THAT ARE NO LONGER AVAILABLE.
13. ALL PLANT HOLES SHALL BE BACKFILLED WITH A Mixture OF 3 PARTS TOPSOIL TO 1 PART PEATMOSS UNLESS SPECIFIED ON PLAN. ALL PLANTING BEDS TO BE MULCHED WITH 4 INCHES CLEAN FRESH SPREADED HARDWOOD BARK, FREE OF STICKS, LEAVES AND OTHER FOREIGN MATERIALS.
14. ALL PLANT MATERIAL SHALL CONFORM TO THE HORTICULTURAL STANDARDS AS SET FORTH BY THE AMERICAN NURSERYMEN AND LANDSCAPE ASSOCIATION (ANLA) 2005. CONTRACTOR SHALL REMOVE ALL NON-BIODEGRADABLE ROOT WRAPPING PRIOR TO PLANTING.
15. TOPSOIL AND REED ALL DISTURBED AREAS AS A RESULT OF ANY AND ALL CONSTRUCTION OR AREAS OF EQUIPMENT STORAGE EQUIPMENT. CONTRACTOR SHALL FIELD VERIFY AREAS OF SEEDING. PROVIDE TOPSOIL TO 12" DEPTH IN ALL LAWN AREA AND 2" DEPTH IN BIRDS BEDS.
16. ALL REMAINING DISTURBED AREAS SHALL BE SEEDDED UNLESS NOTED OTHERWISE. SEE SEEDING PREPARATION NOTES. ALL LAWN AREAS TO BE FERTILIZED PRIOR TO FINAL SEEDING WITH A 19-4-4 FERTILIZER AT THE RATE OF 20 LBS/1000 SF. IN TWO APPLICATIONS.
17. PROPOSED PLANTINGS ARE PRELIMINARY. FINAL PLANTINGS WILL BE DETERMINED AFTER CONSULTATION WITH THE SHADE TREE COMMISSION AND ONCE THE SPECIFIC POSTURES ARE DETERMINED WITH THE RESPECTIVE HOMEOWNERS.
18. THE OWNER SHALL PLANT TWO (2) REPLACEMENT SHADE TREES IN THE FRONT YARD. THE TREES SHALL BE 2" - 3 1/2" CALIPER. THE SPECIES SHALL BE APPROVED BY THE MUNICIPAL ARCHITECT.

# EWING STREET



# LINDEN LANE



## ZONING TABLE

ITEM	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUESTED
R8 RESIDENTIAL ZONE				
MIN. LOT AREA	8,500 SF	7,165 SF	7,165 SF	*, ENC
MIN. LOT AREA AT BLDG. LINE	90 FT	90 FT	90 FT	--
MIN. LOT DEPTH	90 FT	142 FT	142 FT	--
MIN. LOT FRONTAGE	30 FT	50 FT	50 FT	--
SETBACKS (FRONT/BACK)				
MIN. FRONT YARD	25 FT	24.72 FT	25.00 FT	--
MIN. SIDE YARD / CORNER	5 FT / 20 FT	3.36 / 11.66	9.5 FT / 19 FT	--
MIN. REAR YARD	15 FT	99.34 FT	54.4 FT	--
MAX. PRINCIPAL BUILDING HEIGHT	30 FT	<30 FT	<30 FT	--
MAX. FLOOR AREA RATIO	30% [2]	18.43%	34.8% [2]	--
MAX. IMPERVIOUS COVERAGE	49.5% [1]	39.55%	46.75%	--

(ENC) INDICATES A PRE-EXISTING NON-CONFORMING CONDITION

(\*) INDICATES THAT THE ITEM CONFORMS

(\*) INDICATES THAT VARIANCE RELIEF IS REQUIRED

[1] TABLE A, PRINCETON IMPERVIOUS COVERAGE ORD. 2005-42

[2] ADJUSTED F.A.R. CALCULATION USED. REFER TO VARIANCE APPLICATION.

SEEKING VARIANCE RELIEF FOR:

MIN. LOT AREA (7,165 SF) (EXISTING NONCONFORMANCE)

## LEGEND

- RIGHT-OF-WAY
- CURB
- UNDERGROUND ELEC.
- UNDERGROUND GAS
- UNDERGROUND WATER
- UNDERGROUND TELEPHONE
- OVERHEAD WIRES
- CHAIN LINK FENCE
- WOOD FENCE
- UNDERGROUND PIPE
- P.S.E. & G. MANHOLE
- SEWER MANHOLE
- WATER MANHOLE
- MANHOLE
- BELL MANHOLE
- WATER METER
- WATER VALVE
- GAS VALVE
- VALVE
- TREE
- SAN. SEWER VENT
- CLEAN-OUT
- FIRE HYD.
- "A" SEWER INLET
- "B" SEWER INLET
- TRAFF. LIGHT STANDARD
- D.O.T. BOX
- DEPRESSED CURB
- TRAFF. SIGN
- UTILITY POLE
- OVERHEAD LIGHT
- ROOF DRAIN

## CONSTRUCTION DRAWINGS

APPROVED 8/16/14

DATE 08/14/2015

MINOR SITE PLAN

PRINCETON TOWNSHIP

MERCER COUNTY NEW JERSEY

SITE, GRADING & SOIL EROSION PLAN

DATE 10/6/14

SHEET NO. 2

4

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# SOILS INFORMATION (PER USDA SOIL SURVEY)

U6/B - UDORTHENTS (0-8% SLOPES)

## TREE REPLACEMENT NOTE:

THE PROPERTY OWNER SHALL PROVIDE THE REQUIRED NUMBER OF REPLACEMENT TREES IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS, THE LOCATION OF WHICH IS TO BE DETERMINED IN CONFERENCE WITH THE MUNICIPAL ARBORIST. TREES TO BE INSTALLED PRIOR TO FINAL C.O.

Min.  
522

## ✓ IMPERVIOUS LOT COVERAGE SUMMARY

### PROPOSED

PAVING 1,872 SF  
DECK, WALKS, STAIRS, AC ETC 608 SF  
DRIVEWAY 800 SF  
TOTAL 3,480 SF

IMPERVIOUS COVERAGE: 3,480 SF / 11,250 SF = 30.9% < 41% MAX.

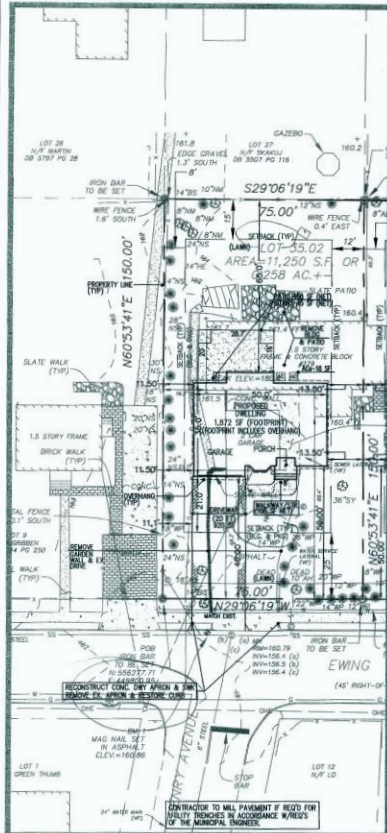
(MAX. PERMITTED IMPERVIOUS DRAINAGE BASED ON ORD SEC 106-244.5 FOOTNOTE 1)

(AREAS INCLUDE GROSS PLAN PROJECTION OF BUILDING AREA AND OVERHANGS AND OTHER COVERAGE AREAS SUCH AS DRIVES, SIDEWALKS ETC. NET BEYOND THIS PROJECTION)

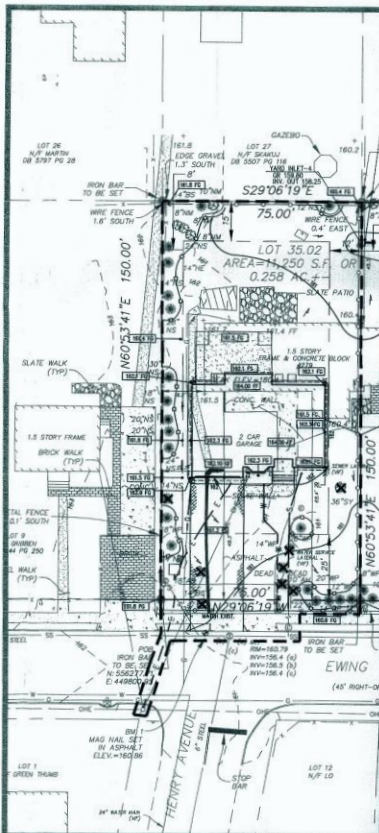
## LEGEND

- 100 --- EXISTING CONTOUR
- 100 --- PROPOSED CONTOUR
- FG 100.0 SPOT ELEVATION (EXIST)
- FG 100.0 SPOT ELEVATION (PROP)
- LIMIT OF DISTURBANCE
- SALT FENCE
- TREE PROTECTION FENCE

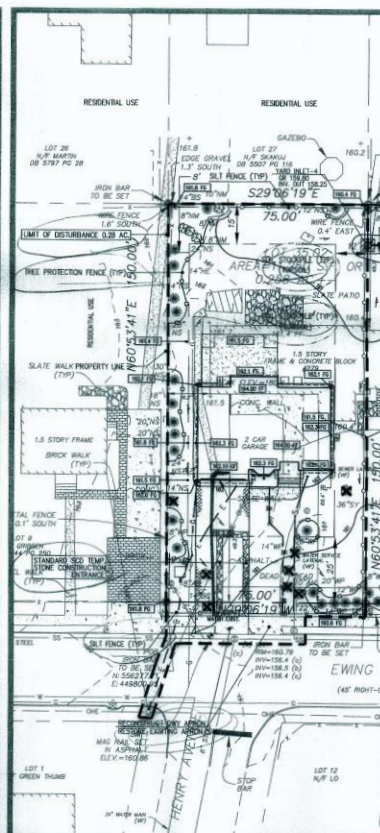
Scale 1" = 20 ft



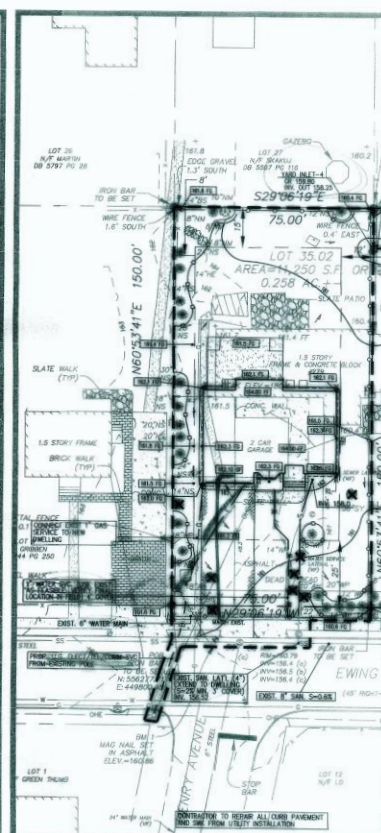
SITE PLAN



GRADING PLAN



SESC PLAN



UTILITY PLAN

REVISIONS  
No. DESCRIPTION BY DATE  
CONSTRUCTION DRAWINGS  
APPROVED

DATE May 8, 2015

1 REV. PER MUNICIPAL COMMENT JJC 4/6/15

## KENSHO RESOURCES LLC

360 NASSAU STREET, SECOND FLOOR  
PRINCETON, NEW JERSEY 08540  
TEL: (609) 924-1091  
FAX: (609) 924-1092  
JIM@KENSHORESOURCES.COM

JAMES J. CHEN, P.E., P.L.P.  
PROFESSIONAL ENGINEER & PLANNER  
N.J. P.E. NO. 24824783 N.J. P.L.P. 05692

PROJECT:

PRINCETON  
MERCER COUNTY, NEW JERSEY

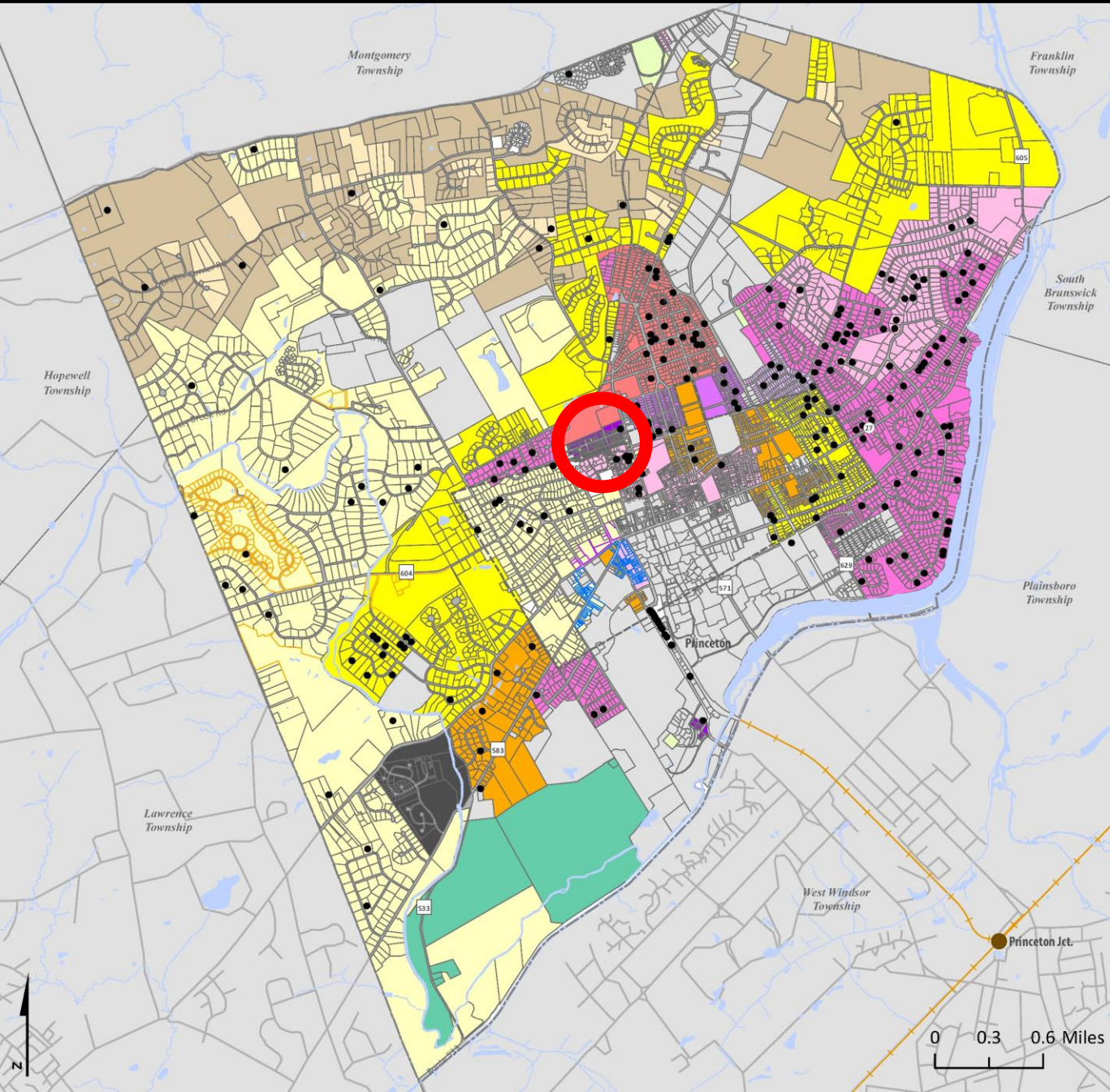
SHEET TITLE:  
SITE / GRADING /  
UTILITY & SESC PLAN

DESIGNED BY: MF  
CHECKED BY: JC  
SCALE: AS NOTED  
FILENAME: PLANDWG  
JOB NO.:  
DATE: 3/4/15

SHEET NO.:  
1



# Township Zoning – R-9 District



## Legend

### Township Zoning

[Light Yellow]	Non-Resi
[Yellow]	R1
[Light Yellow]	R104; R190
[Yellow]	R1AH
[Yellow]	R1R2
[Yellow]	R2
[Yellow]	R2AH
[Orange]	R3
[Pink]	R4
[Pink]	R5
[Pink]	R6
[Pink]	R7
[Pink]	R8
[Purple]	R9
[Light Orange]	RA; RAB; RAOR
[Light Orange]	RB; RBOR
[Light Yellow]	RH/8; RH/12
[Green]	RHFW
[Grey]	RM
[Orange Line]	Railroad

### Borough Zoning

[Light Yellow]	Non-Resi
[Yellow]	R01P
[Yellow]	R1
[Yellow]	R1HP
[Yellow]	R1MP
[Yellow]	R2
[Orange]	R3
[Orange]	R3JP
[Orange]	R3MP
[Pink]	R4
[Pink]	R4MP
[Pink]	R5
[Purple]	R9
[Light Orange]	RB
[Black Dot]	Demolition Permits (2005-2016)*
[Dashed Line]	Former Princeton Borough
[Grey Dot]	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ  
 Produced by: The RBA Group  
 Date: September 2016  
 Source: Building Department

0 0.3 0.6 Miles

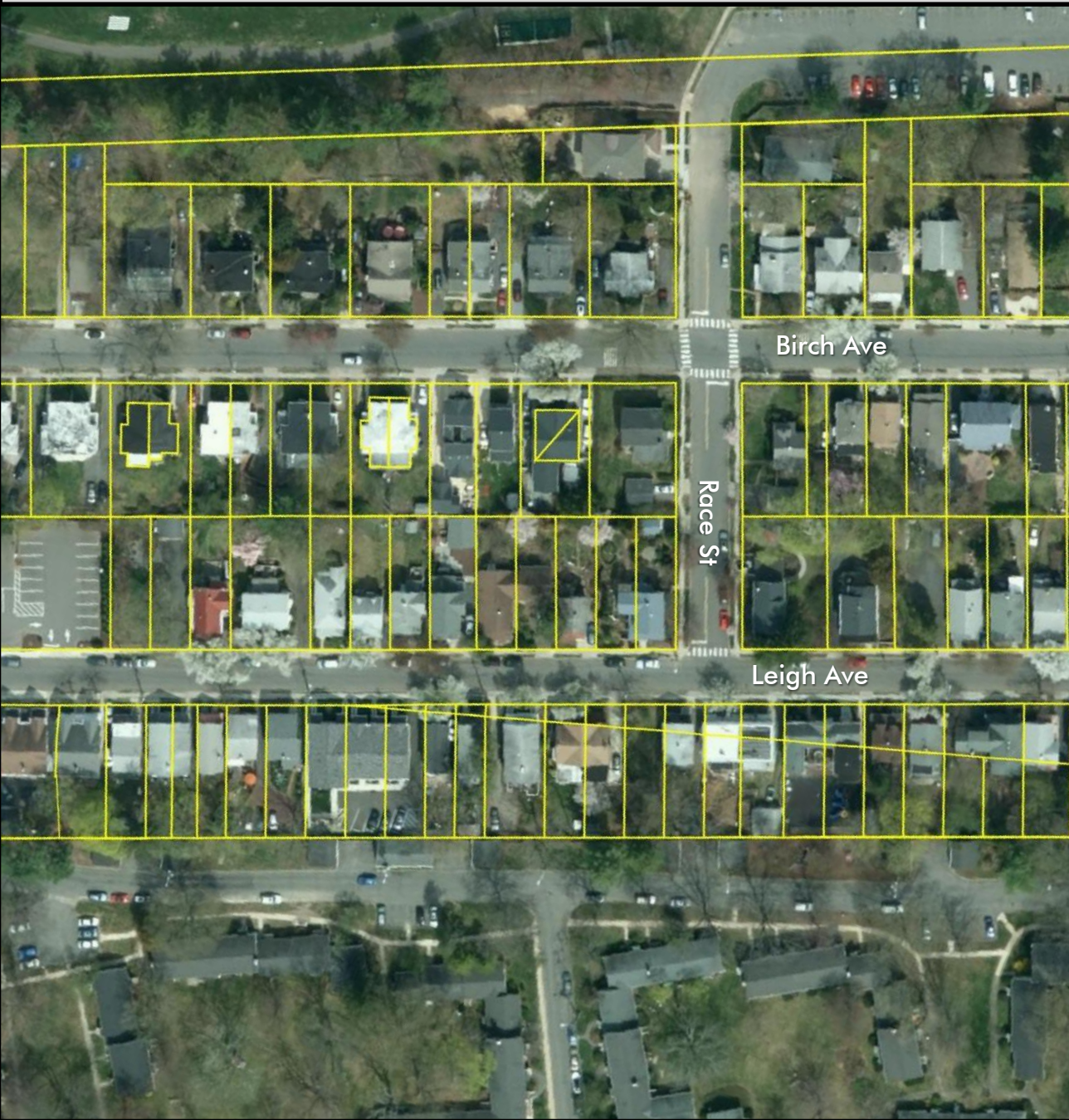


# Township Zoning – R-9 District

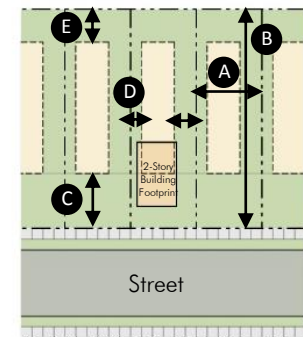




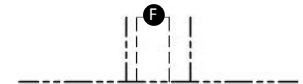
# Township Zoning – R-9 District



**Typical Lot Diagram**



**Setback-Height Diagram**

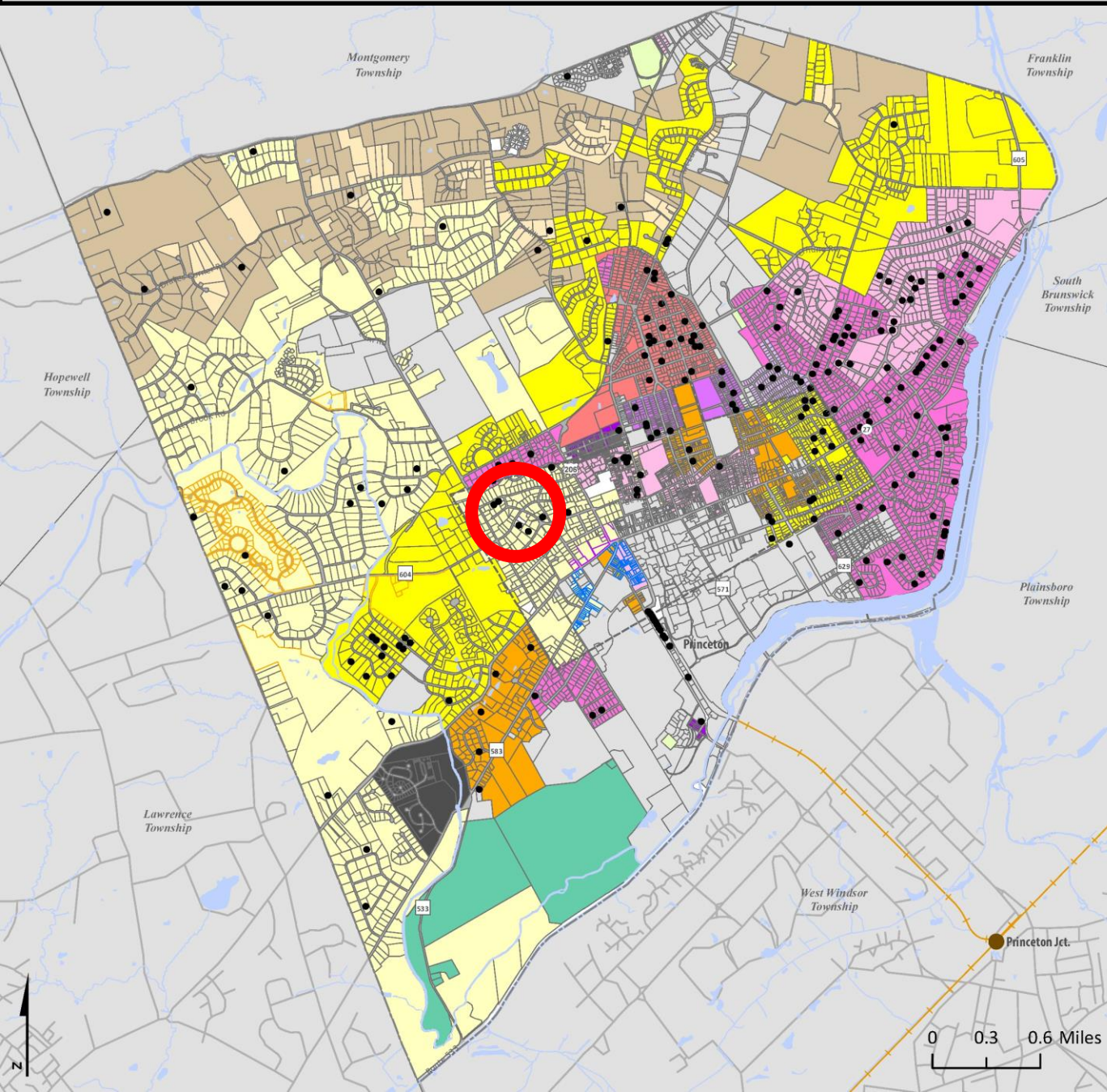


## Zoning Schedule

	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	6,500	3,000	
Lot Width (ft)	40	30	<b>A</b>
Lot Depth (ft)	40	100	<b>B</b>
<b>Setbacks</b>			
Front Yard (ft)	25		<b>C</b>
Side Yard (Smaller)	5		<b>D</b>
Side Yard (Combined)	15		
Rear Yard (ft)	15		<b>E</b>
Setback-Height Ratio	N/A	30' Max.	<b>F</b>
<b>Coverage/FAR</b>			
Max. FAR	0.35	1,050 SF	



# Borough Zoning – R-1 District



## Legend

### Township Zoning

[Light Grey]	Non-Resi
[Light Yellow]	R1
[Light Yellow]	R104; R190
[Light Yellow]	R1AH
[Light Yellow]	R1R2
[Yellow]	R2
[Yellow]	R2AH
[Orange]	R3
[Pink]	R4
[Pink]	R5
[Light Orange]	R6
[Light Purple]	R7
[Purple]	R8
[Purple]	R9
[Light Orange]	RA; RAB; RAOR
[Light Orange]	RB; RBOR
[Light Green]	RH/8; RH/12
[Light Green]	RHFW
[Grey]	RM
[Orange Line]	Railroad

### Borough Zoning

[Light Grey]	Non-Resi
[Light Yellow]	R01P
[Yellow]	<b>R1</b>
[Light Yellow]	R1HP
[Light Yellow]	R1MP
[Yellow]	R2
[Orange]	R3
[Orange]	R3JP
[Orange]	R3MP
[Pink]	R4
[Light Orange]	R4MP
[Pink]	R5
[Purple]	R9
[Light Orange]	RB
[Black Dot]	Demolition Permits (2005-2016)*
[Dashed Line]	Former Princeton Borough
[Grey Dot]	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

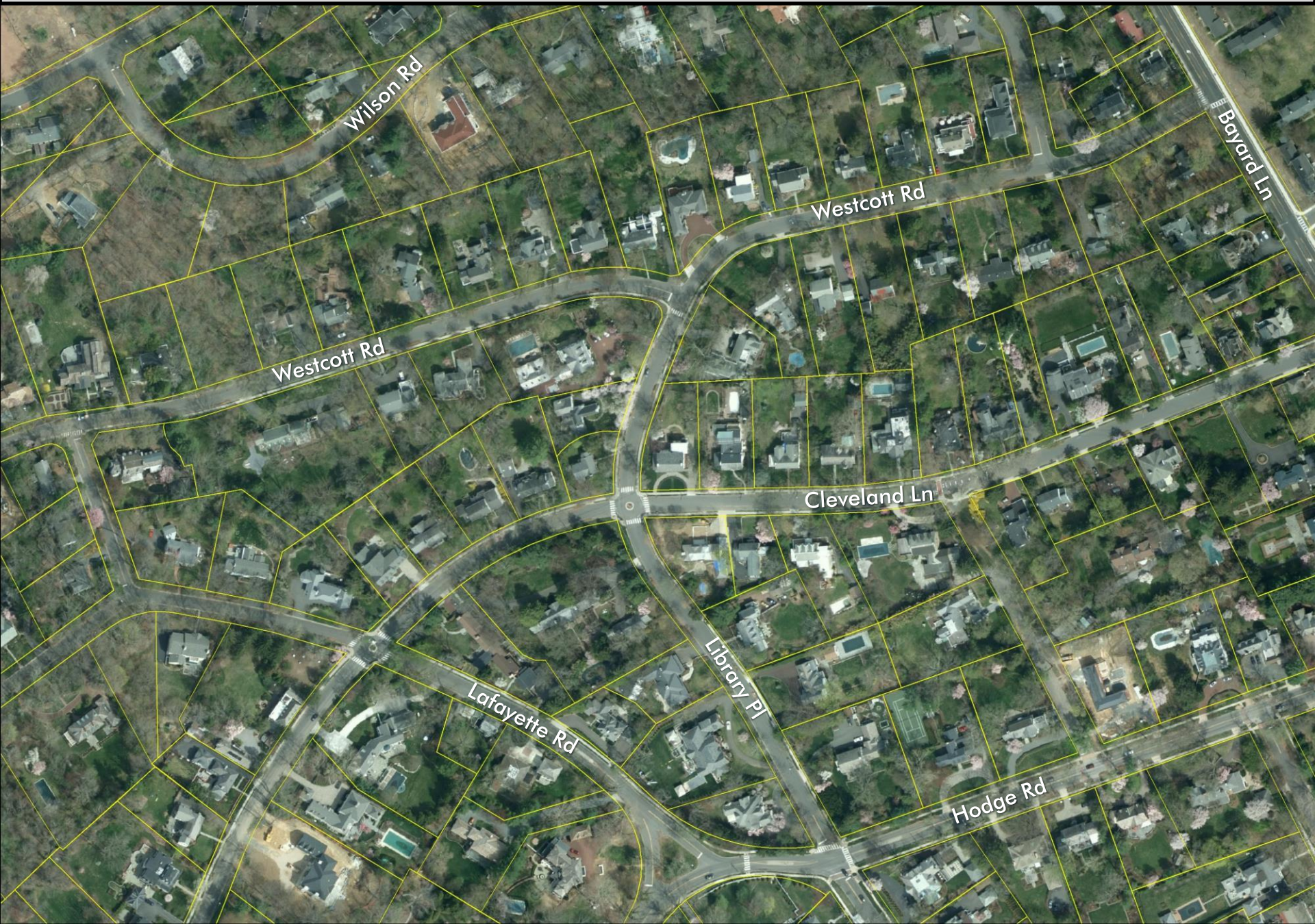
Produced by: The RBA Group

Date: September 2016

Source: Building Department



# Borough Zoning – R-1 District

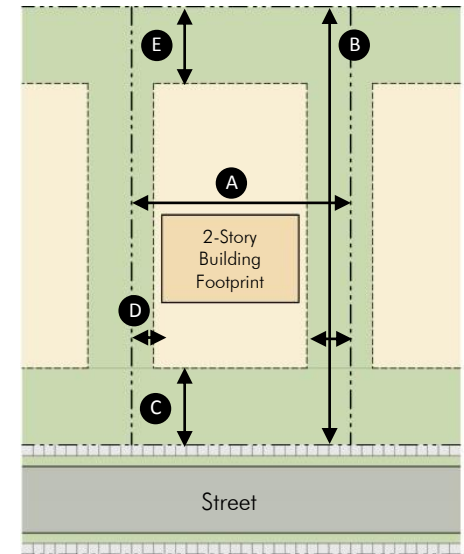




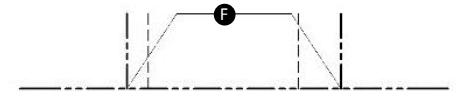
# Borough Zoning – R-1 District



**Typical Lot Diagram**



**Height-Setback Diagram**

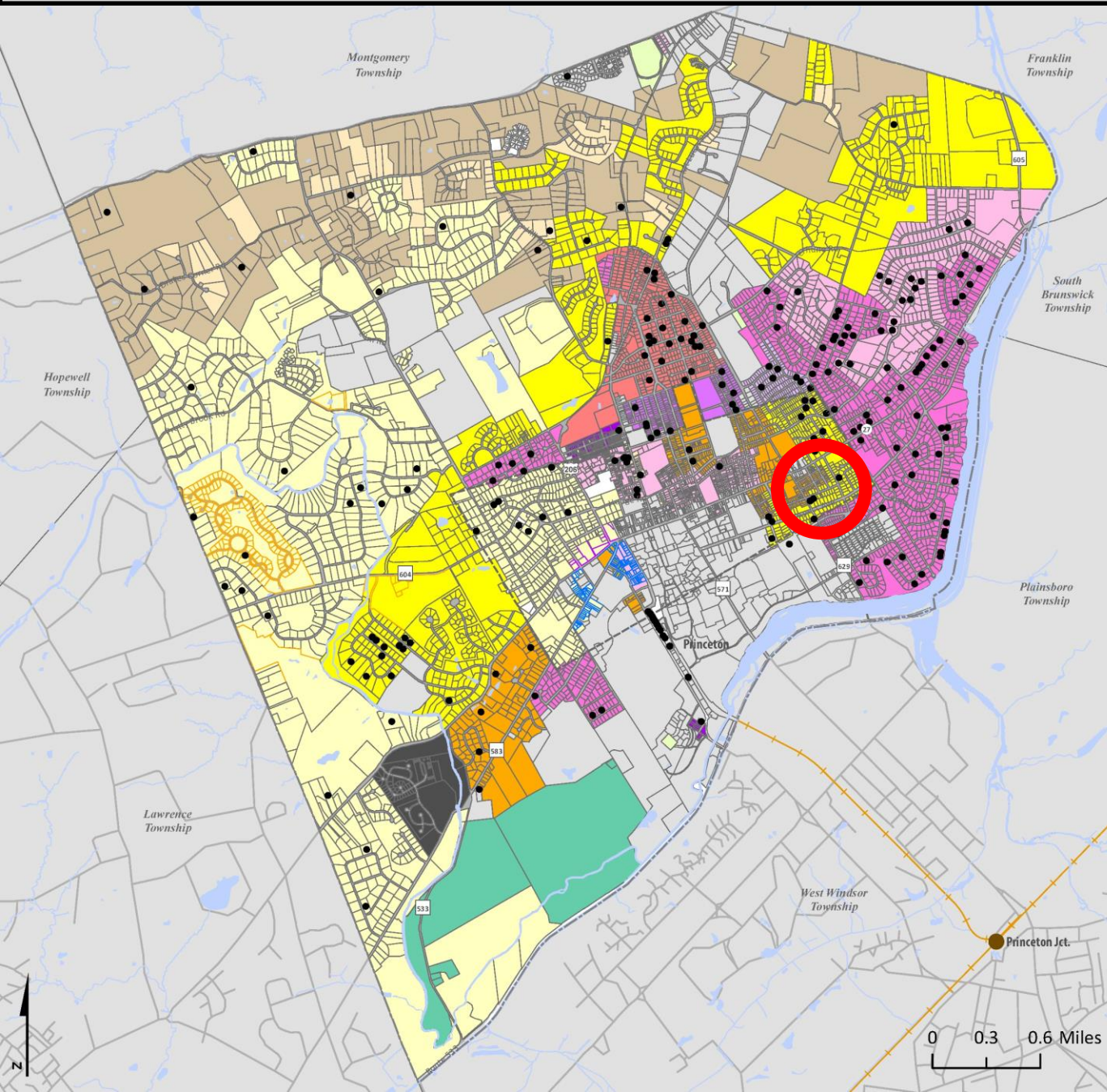


**Zoning Schedule**

	Req.	Typ.
<b>Lot Dimensions</b>		
Lot Area (SF)	20,000	20,000
Lot Width (ft)	125	100 <b>A</b>
Lot Depth (ft)	125	200 <b>B</b>
<b>Setbacks</b>		
Front Yard (ft)	35 <b>C</b>	
Side Yard (Smaller)	10 <b>D</b>	
Side Yard (Combined)	30	
Rear Yard (ft)	35 <b>E</b>	
Height-Setback Ratio	1.5:1	35' Max. <b>F</b>
<b>Coverage/FAR</b>		
Max. FAR	0.25	5,000 SF



# Borough Zoning – R-2 District



## Legend

### Township Zoning

[Light Gray Box]	Non-Resi
[Light Yellow Box]	R1
[Light Yellow Box]	R104; R190
[Light Yellow Box]	R1AH
[Light Yellow Box]	R1R2
[Yellow Box]	R2
[Yellow Box]	R2AH
[Orange Box]	R3
[Pink Box]	R4
[Pink Box]	R5
[Pink Box]	R6
[Pink Box]	R7
[Purple Box]	R8
[Purple Box]	R9
[Orange Box]	RA; RAB; RAOR
[Orange Box]	RB; RBOR
[Light Green Box]	RH/8; RH/12
[Light Green Box]	RHFW
[Gray Box]	RM
[Orange Line]	Railroad

### Borough Zoning

[Light Gray Box]	Non-Resi
[Light Yellow Box]	R01P
[Light Yellow Box]	R1
[Light Yellow Box]	R1HP
[Light Yellow Box]	R1MP
[Yellow Box]	R2
[Orange Box]	R3
[Orange Box]	R3JP
[Orange Box]	R3MP
[Pink Box]	R4
[Pink Box]	R4MP
[Pink Box]	R5
[Purple Box]	R9
[Orange Box]	RB
[Black Dot]	Demolition Permits (2005-2016)*
[Dashed Line]	Former Princeton Borough
[Black Dot]	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

Produced by: The RBA Group

Date: September 2016

Source: Building Department

0 0.3 0.6 Miles



# Borough Zoning – R-2 District

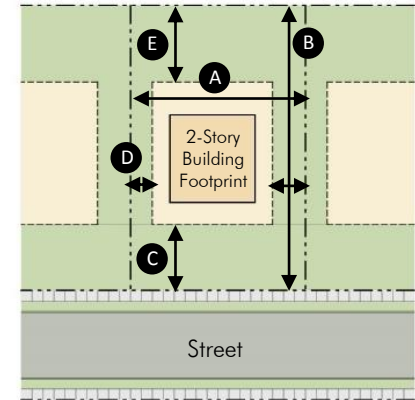




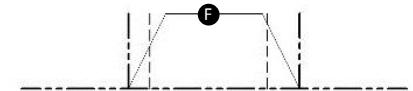
# Borough Zoning – R-2 District



**Typical Lot Diagram**



**Height-Setback Diagram**

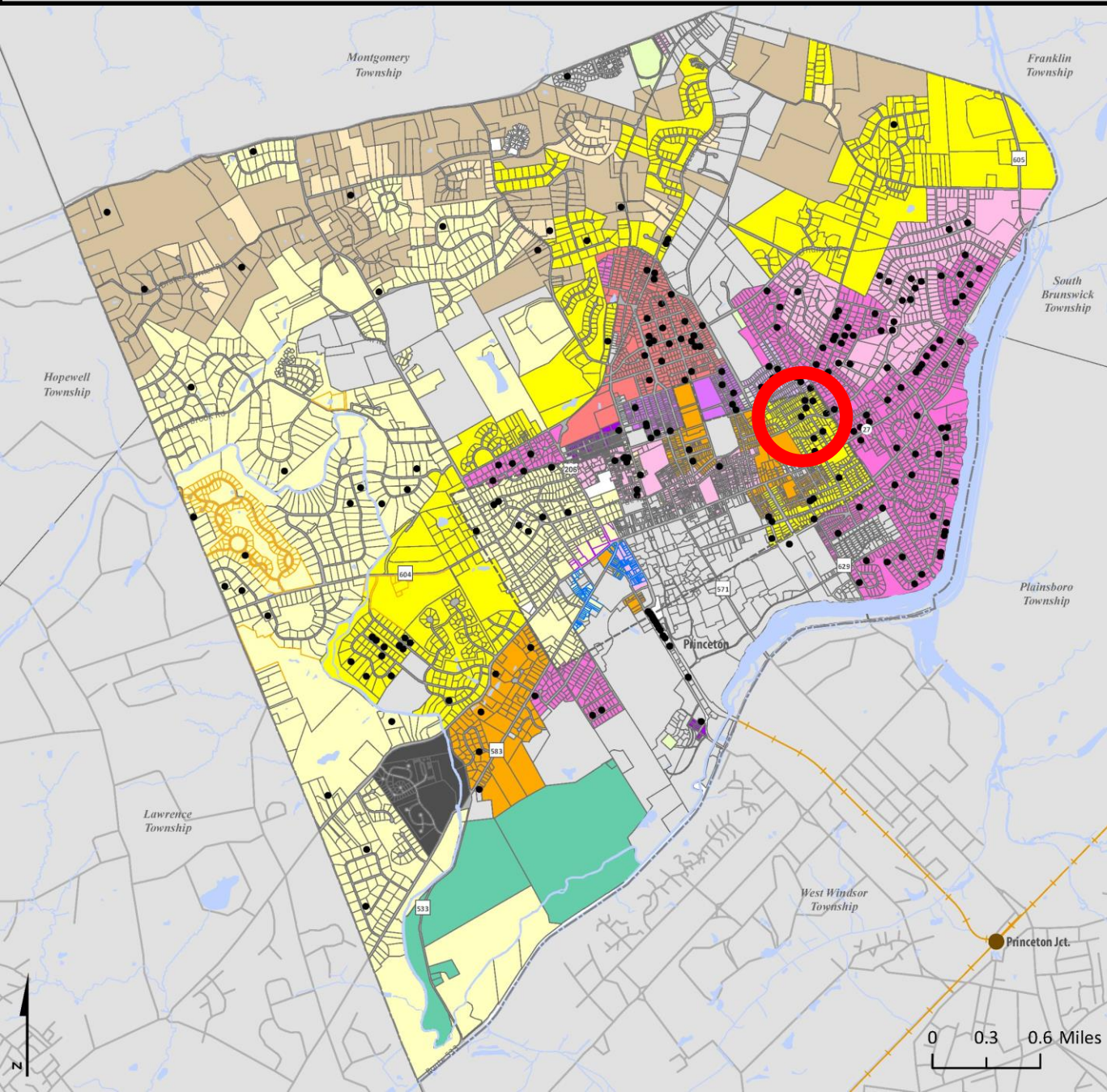


## Zoning Schedule

	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	10,000	10,400	
Lot Width (ft)	75	80	A
Lot Depth (ft)	100	130	B
<b>Setbacks</b>			
Front Yard (ft)	30		C
Side Yard (Smaller)	10		D
Side Yard (Combined)	25		
Rear Yard (ft)	35		E
Height-Setback Ratio	2:1	35' Max.	F
<b>Coverage/FAR</b>			
Max. FAR	0.30	3,120 SF	



# Borough Zoning – R-2 District



## Legend

### Township Zoning

[Light Gray Box]	Non-Resi
[Light Yellow Box]	R1
[Light Yellow Box]	R104; R190
[Light Yellow Box]	R1AH
[Light Yellow Box]	R1R2
[Yellow Box]	R2
[Yellow Box]	R2AH
[Orange Box]	R3
[Pink Box]	R4
[Pink Box]	R5
[Pink Box]	R6
[Pink Box]	R7
[Purple Box]	R8
[Purple Box]	R9
[Orange Box]	RA; RAB; RAOR
[Orange Box]	RB; RBOR
[Light Green Box]	RH/8; RH/12
[Light Green Box]	RHFW
[Gray Box]	RM
[Orange Line]	Railroad

### Borough Zoning

[Light Gray Box]	Non-Resi
[Light Yellow Box]	R01P
[Light Yellow Box]	R1
[Light Yellow Box]	R1HP
[Light Yellow Box]	R1MP
[Yellow Box]	R2
[Orange Box]	R3
[Orange Box]	R3JP
[Orange Box]	R3MP
[Pink Box]	R4
[Pink Box]	R4MP
[Pink Box]	R5
[Purple Box]	R9
[Orange Box]	RB
[Black Dot]	Demolition Permits (2005-2016)*
[Dashed Line]	Former Princeton Borough
[Black Dot]	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

Produced by: The RBA Group

Date: September 2016

Source: Building Department

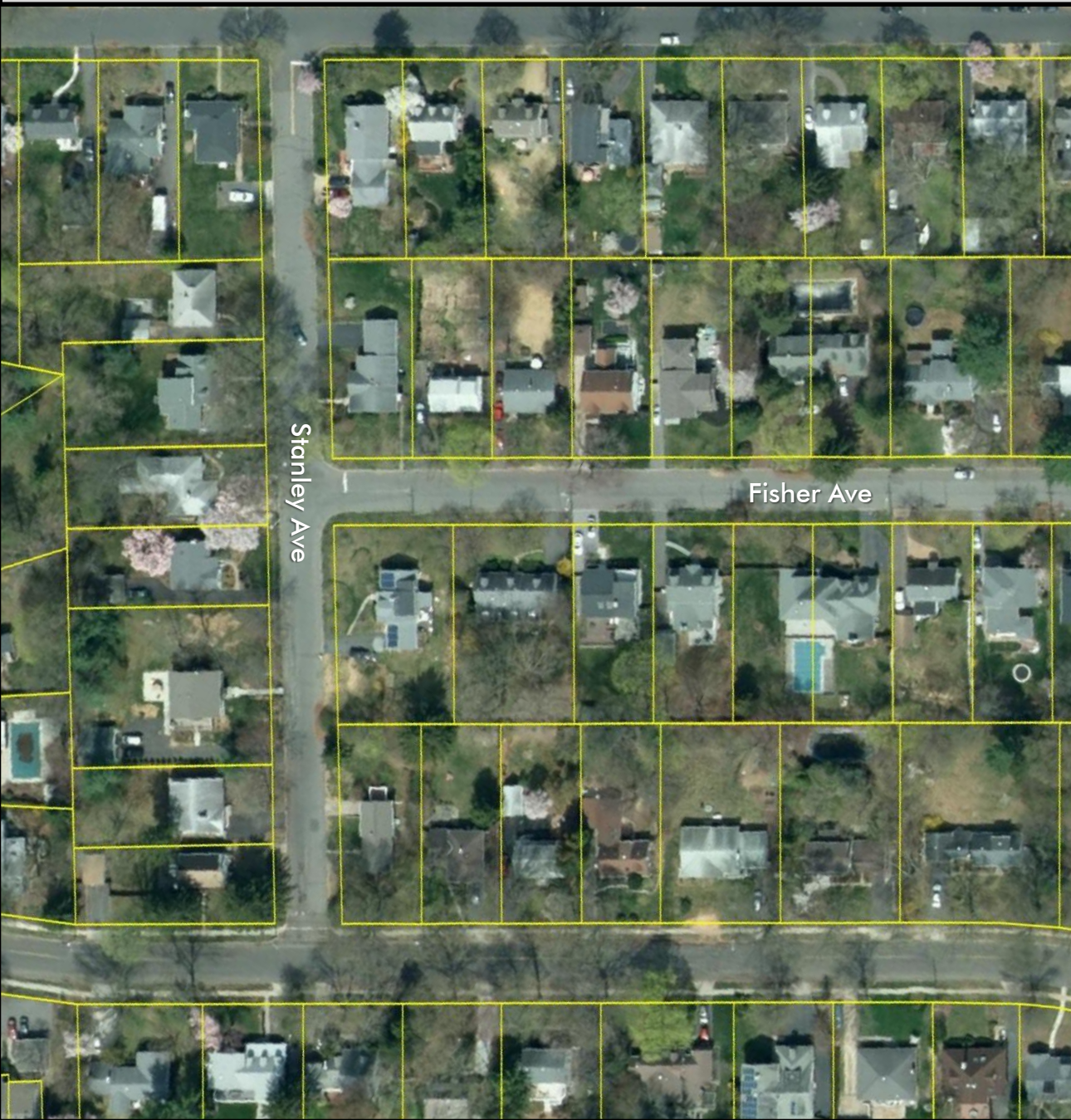


# Borough Zoning – R-2 District

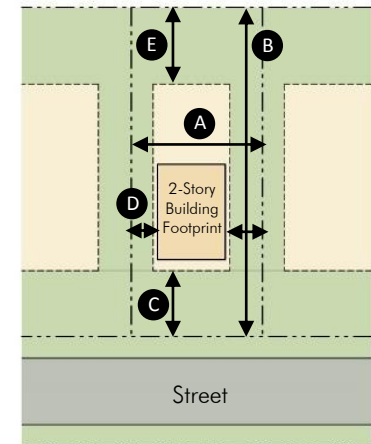




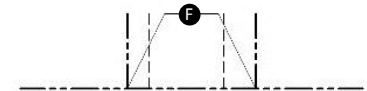
# Borough Zoning – R-2 District



**Typical Lot Diagram**



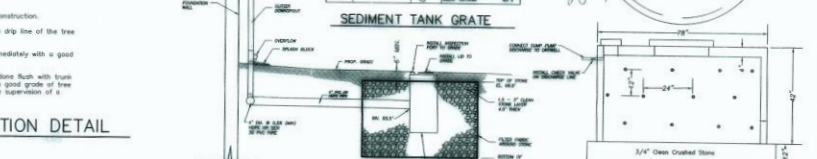
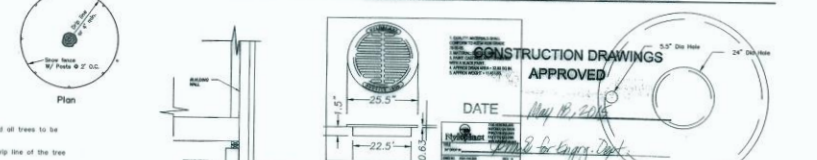
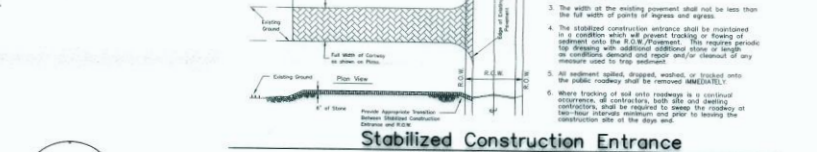
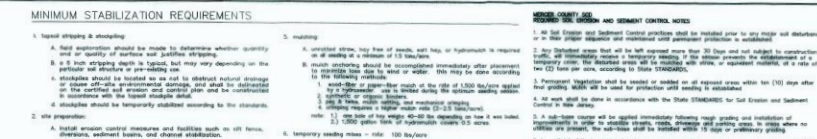
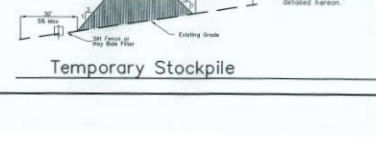
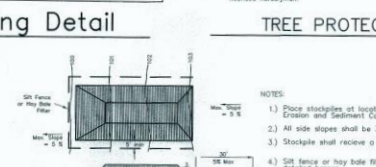
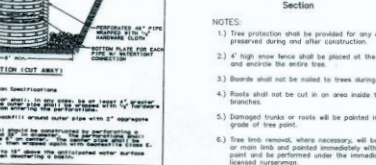
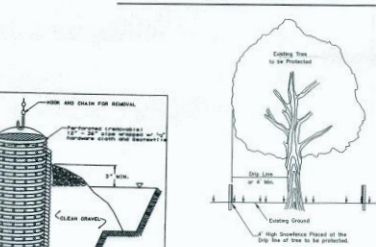
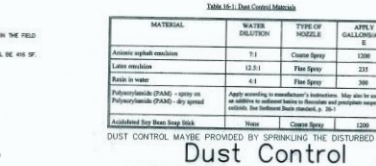
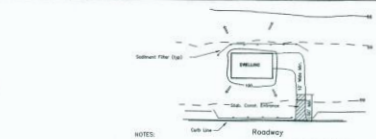
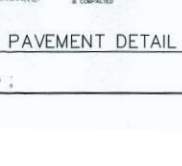
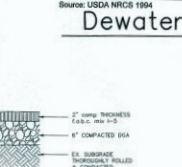
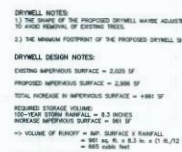
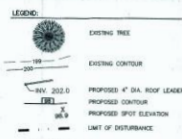
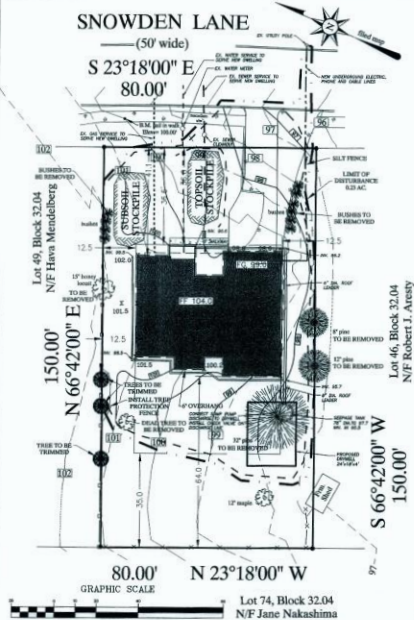
**Height-Setback Diagram**



## Zoning Schedule

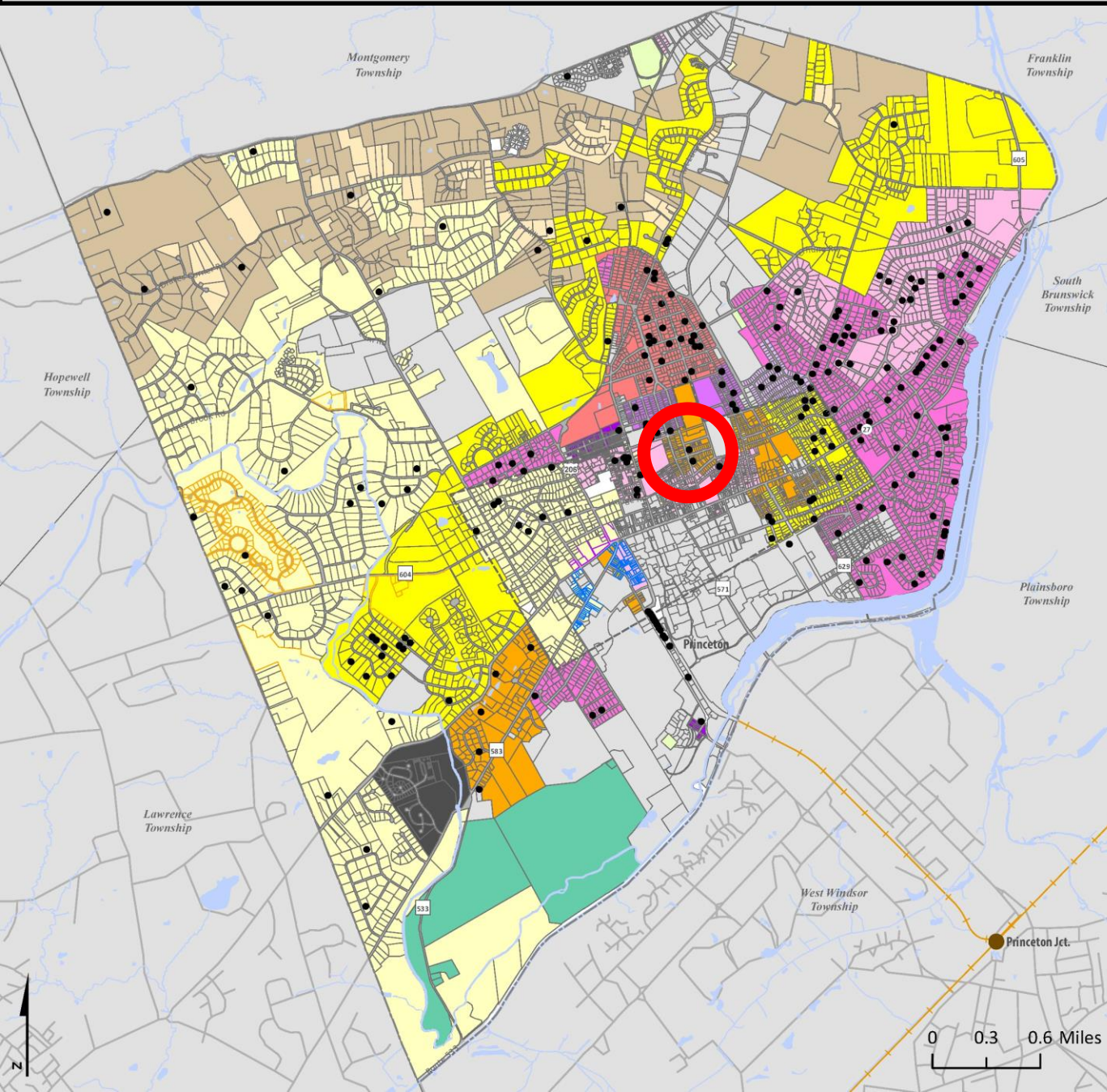
	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	10,000	9,000	
Lot Width (ft)	75	60	A
Lot Depth (ft)	100	150	B
<b>Setbacks</b>			
Front Yard (ft)	30		C
Side Yard (Smaller)	10		D
Side Yard (Combined)	25		
Rear Yard (ft)	35		E
Height-Setback Ratio	2:1	35' Max.	F
<b>Coverage/FAR</b>			
Max. FAR	0.30	2,700 SF	







# Borough Zoning – R-3 District



## Legend

### Township Zoning

Non-Resi
R1
R104; R190
R1AH
R1R2
R2
R2AH
R3
R4
R5
R6
R7
R8
R9
RA; RAB; RAOR
RB; RBOR
RH/8; RH/12
RHFV
RM
Railroad

### Borough Zoning

Non-Resi
R01P
R1
R1HP
R1MP
R2
<b>R3</b>
R3JP
R3MP
R4
R4MP
R5
R9
RB
Demolition Permits (2005-2016)*
Former Princeton Borough
Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

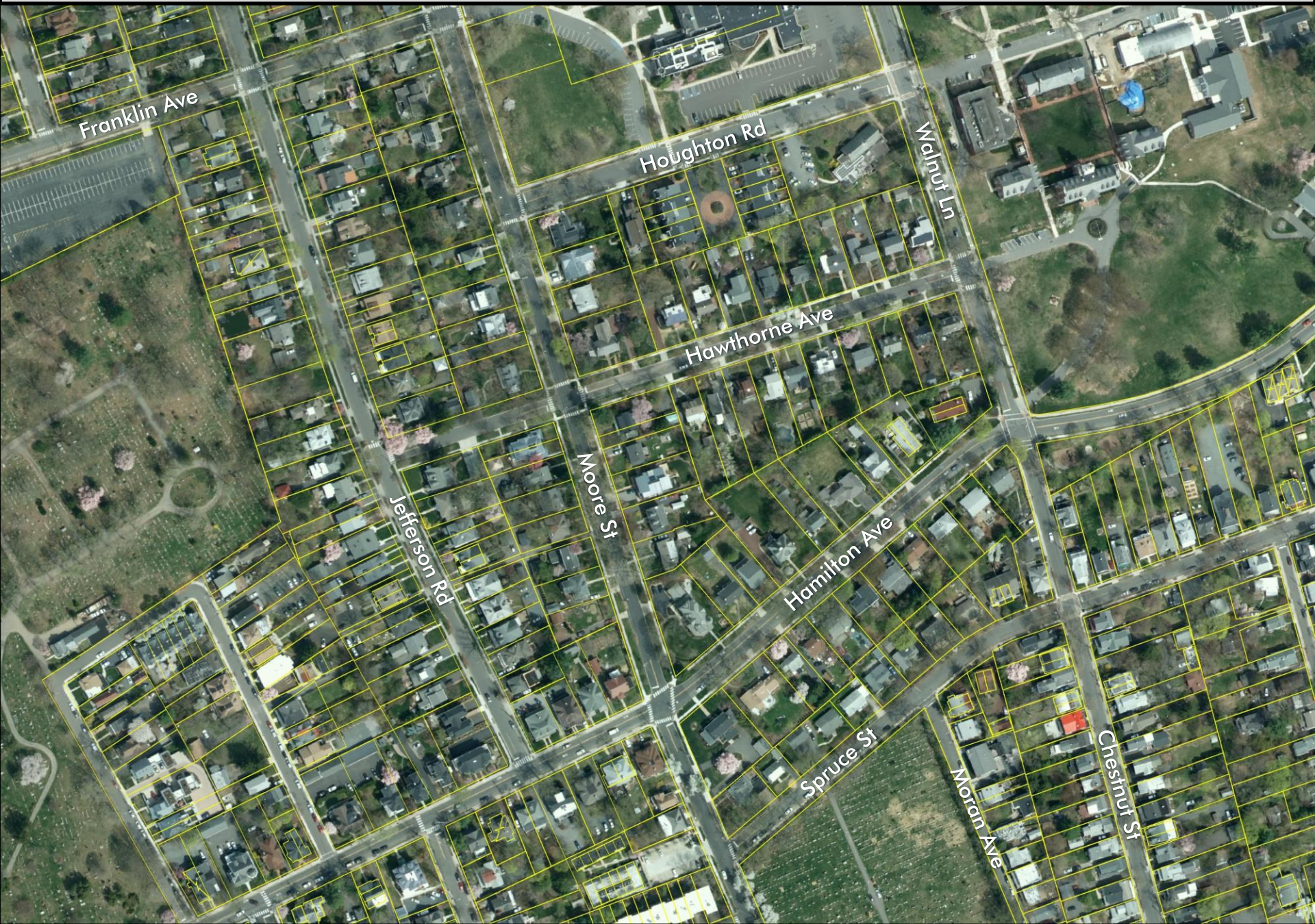
Produced by: The RBA Group

Date: September 2016

Source: Building Department

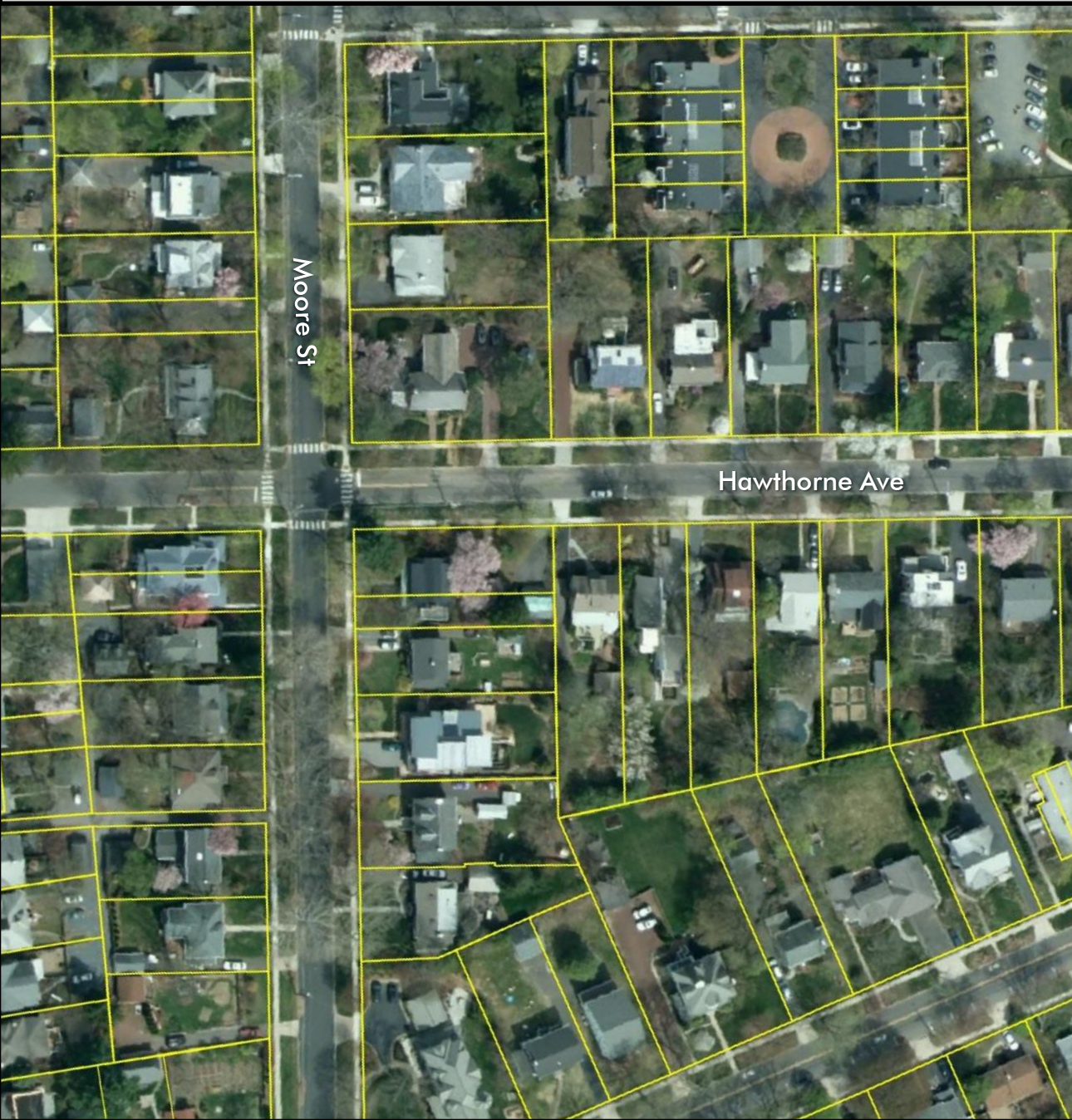


# Borough Zoning – R-3 District

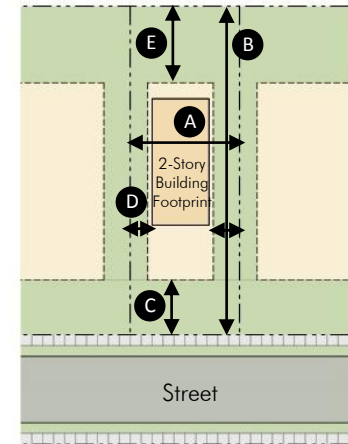




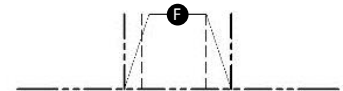
# Borough Zoning – R-3 District



**Typical Lot Diagram**



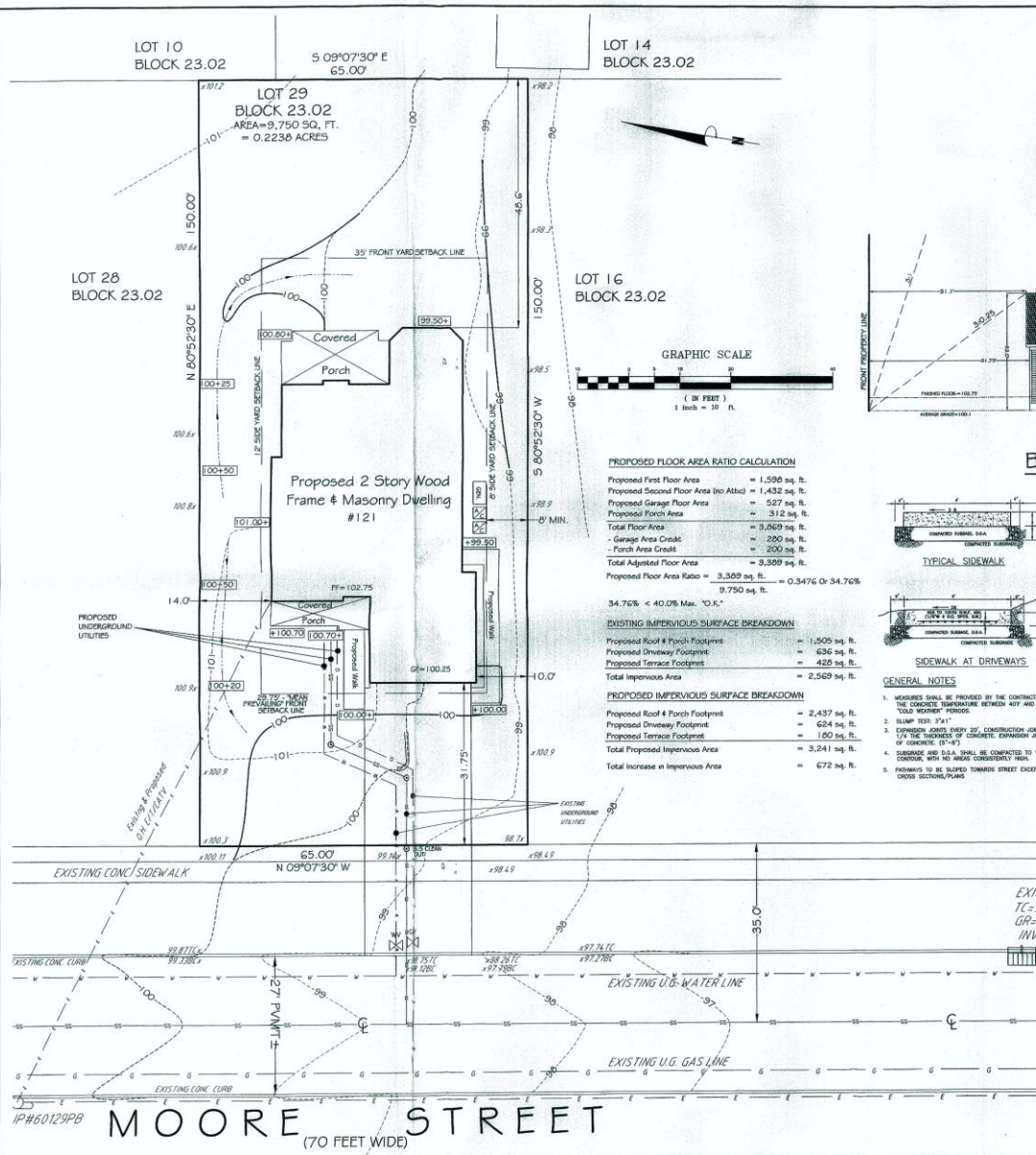
**Height-Setback Diagram**



## Zoning Schedule

	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	7,200	7,500	
Lot Width (ft)	60	50	<b>A</b>
Lot Depth (ft)	100	150	<b>B</b>
<b>Setbacks</b>			
Front Yard (ft)	25		<b>C</b>
Side Yard (Smaller)	8		<b>D</b>
Side Yard (Combined)	20		
Rear Yard (ft)	35		<b>E</b>
Height-Setback Ratio	3:1	35' Max.	<b>F</b>
<b>Coverage/FAR</b>			
Max. FAR	0.40	3,000 SF	





**PROPOSED FLOOR AREA RATIO CALCULATION**

Proposed First Floor Area	= 1,598 sq. ft.
Proposed Second Floor Area (no attic)	= 1,432 sq. ft.
Proposed Garage Floor Area	= 527 sq. ft.
Proposed Porch Area	= 312 sq. ft.
<b>Total Floor Area</b>	<b>= 3,869 sq. ft.</b>
- Garage Area Credit	= 200 sq. ft.
- Porch Area Credit	= 200 sq. ft.
<b>Total Adjusted Floor Area</b>	<b>= 3,369 sq. ft.</b>
Proposed Floor Area Ratio	= 3,369 sq. ft. / 9,750 sq. ft. = 0.3476 Or 34.76%

**34.76% < 40.0% Max. 10.1%**

**EXISTING IMPERVIOUS SURFACE BREAKDOWN**

Proposed Roof & Porch Footprint	= 1,505 sq. ft.
Proposed Driveway Footprint	= 636 sq. ft.
Proposed Terrace Footprint	= 428 sq. ft.
<b>Total Impervious Area</b>	<b>= 2,569 sq. ft.</b>

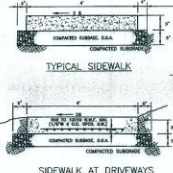
**PROPOSED IMPERVIOUS SURFACE BREAKDOWN**

Proposed Roof & Porch Footprint	= 2,437 sq. ft.
Proposed Driveway Footprint	= 624 sq. ft.
Proposed Terrace Footprint	= 160 sq. ft.
<b>Total Proposed Impervious Area</b>	<b>= 3,241 sq. ft.</b>
<b>Total Increase in Impervious Area</b>	<b>= 672 sq. ft.</b>



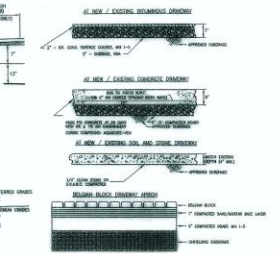
**Building Height to Setback Ratio Detail**

Scale: 1" = 10'



**GENERAL NOTES**

1. MAINTENANCE SHALL BE PROVIDED BY THE CONTRACTOR TO MAINTAIN THE CONCRETE TEMPERATURE BETWEEN 40°F AND 80°F DURING COLD WEATHER PERIODS.
2. SLUMP TEST: 7"±1"
3. DIMENSION JOINTS EVERY 20' CONSTRUCTION JOINTS EVERY 4' AT A DEPTH OF 1/4" THE THICKNESS OF CONCRETE. DIMENSION JOINTS MINIMUM TO MATCH DEPTH OF CONCRETE (8"±1").
4. SUBGRADE AND D.S.A. SHALL BE COMPACTED TO WITHIN 1/2" OF GRADE AND COVERED WITH NO MORE THAN 2" OF SOIL.
5. PAVEMENT TO BE SLOPED TOWARD STREET EXCEPT AS NOTED ON THE CROSS SECTIONS/PLANS.



**LEGEND**

- CONSTRUCTION DRAWINGS**
- APPROVED**
- DATE:** May 3, 2015
- BY:** [Signature]
- Existing Topographic Contour
  - Existing Topographic Contour
  - Overhead Utility Wire
  - Utility Pole
  - Gas Line
  - Electric Line
  - Water Line
  - Sanitary Sewer Service Line
  - Sanitary Sewer Main
  - Sanitary Sewer Manhole
  - Storm Sewer Inlet
  - Storm Sewer Manhole
  - Storm Sewer Line
  - Storm Sewer Line
  - Curb Line
  - Right of Way Center Line
  - Right of Way Line
  - Proposed Topographic Contour
  - Proposed Spot Elevation

**PRINCETON NOTES**

1. If the interference of water mains is required, the spacing and location of hydrants will comply with the standards of the New Jersey American Water Company and approved by the Municipal Engineer & Fire Protection Officer.
2. Electric, Telephone, CATV and all other services utility extensions shall be installed underground with standards established by the serving utility company, and approved by the Municipal Engineer.
3. All construction to be in accordance with the first construction plans as approved by the Municipal Engineer.
4. All drainage and sewer elements for public purpose shall be dedicated to the Municipality of Princeton unless otherwise noted.
5. All areas where natural vegetation and/or structures exist are to remain, shall be protected by the erection of fencing, and no disturbance shall occur prior to inspection by the Municipal Engineer and the issuance of written authorization to proceed with construction. These protective measures shall not be altered or removed without the approval of the Municipal Engineer.

**Note:** Location and elevations of underground utilities and features shown hereon, have been collected from various sources and are not guaranteed as to accuracy or completeness. The contractor shall verify all information to his satisfaction prior to excavation or construction. Where existing utilities or features may interfere with proposed construction, the contractor shall be responsible for construction to ascertain existing locations and elevations. Any conflicts shall be brought to the attention of the designer prior to construction to permit adjustments as required to resolve conflicts.



**Princeton Junction Engineering, P.C.**  
Professional Engineers, Land Surveyors and Planners  
P.O. Box 610 - 53 North Post Road  
Princeton Junction, New Jersey 08550  
Telephone: 609-799-1906 Fax: 609-799-1523 Email: pje@pje.com

**Building Permit Plan**

**APPROVED**

**DATE:** May 3, 2015

**BY:** [Signature]

**Frank J. Falcone**  
NJ Professional Engineer  
NJ Professional Engineer  
NJ Professional Engineer

**Kevin M. Brakel**  
NJ Professional Engineer  
NJ Professional Engineer  
NJ Professional Engineer

Located in: **Princeton - Mercer County - New Jersey**

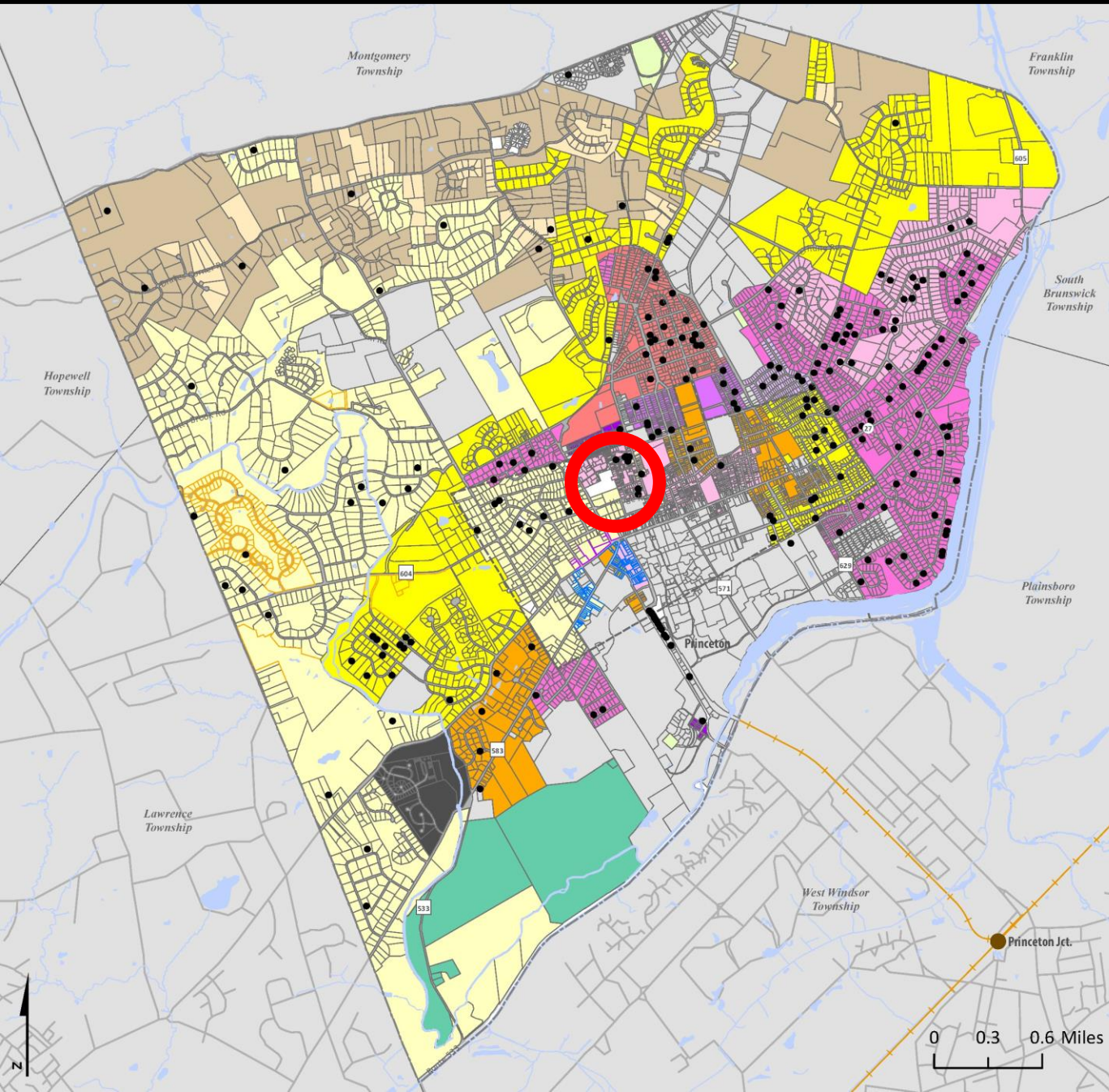
Date: 5/3/15  
Drawn: PJE  
Check: PJE  
Job#: 7141205  
Proj: CSI Building Permit  
Window: WINDOW

File #7141205

Sheet 1 of 1



# Borough Zoning – R-4 District



## Legend

### Township Zoning

[Light Gray]	Non-Resi
[Light Yellow]	R1
[Light Yellow]	R104; R190
[Light Yellow]	R1AH
[Light Yellow]	R1R2
[Yellow]	R2
[Yellow]	R2AH
[Orange]	R3
[Pink]	R4
[Pink]	R5
[Pink]	R6
[Pink]	R7
[Purple]	R8
[Purple]	R9
[Orange]	RA; RAB; RAOR
[Orange]	RB; RBOR
[Light Green]	RH/8; RH/12
[Light Green]	RHFW
[Gray]	RM
[Orange Line]	Railroad

### Borough Zoning

[Light Gray]	Non-Resi
[Light Yellow]	R01P
[Light Yellow]	R1
[Light Yellow]	R1HP
[Light Blue]	R1MP
[Yellow]	R2
[Orange]	R3
[Orange]	R3JP
[Orange]	R3MP
[Pink]	R4
[Light Blue]	R4MP
[Pink]	R5
[Purple]	R9
[Orange]	RB
[Black Dot]	Demolition Permits (2005-2016)*
[Dashed Line]	Former Princeton Borough
[Black Dot]	Train Station

\* Includes demolitions through July, 2016

Client: Princeton, NJ

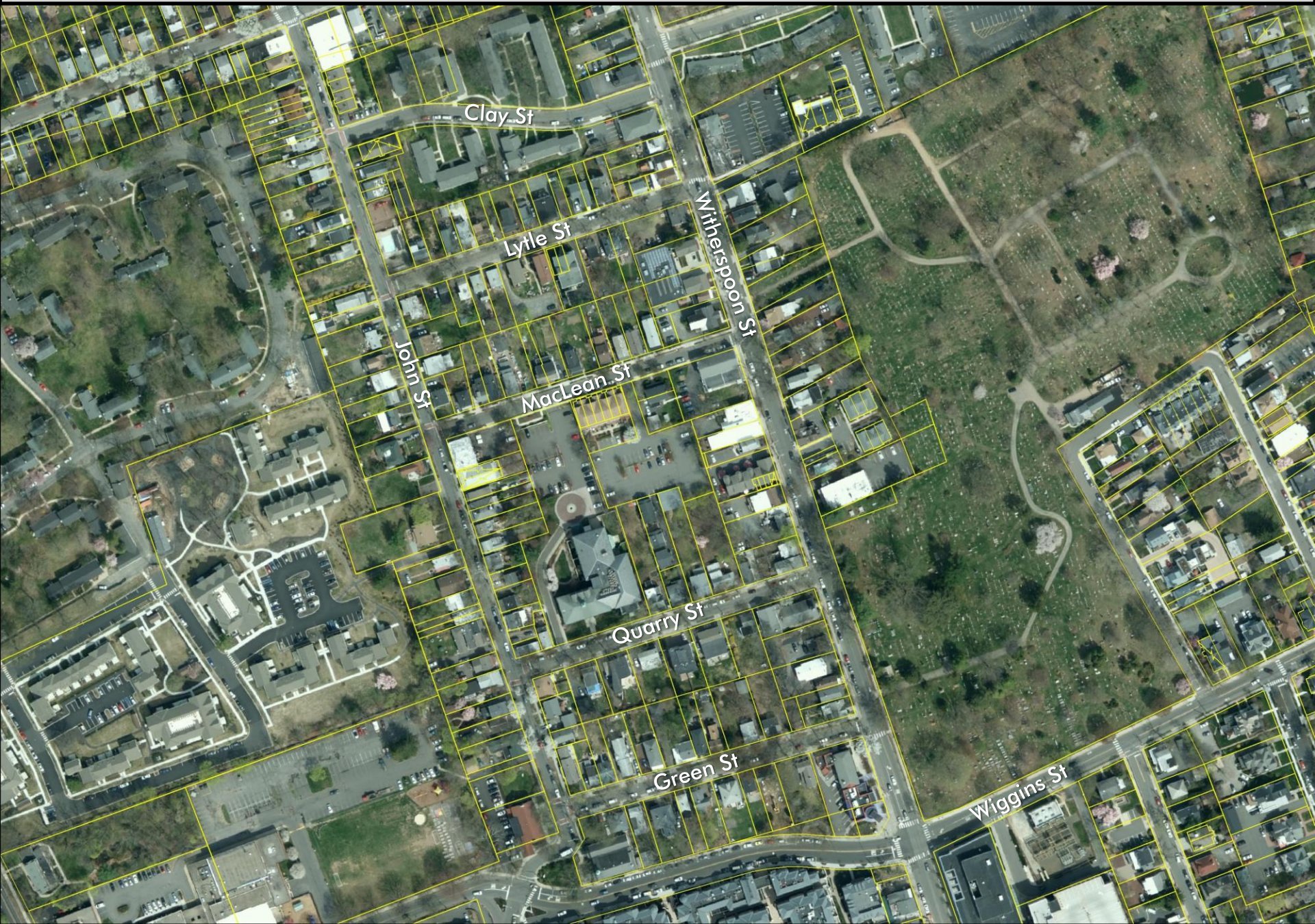
Produced by: The RBA Group

Date: September 2016

Source: Building Department



# Borough Zoning – R-4 District

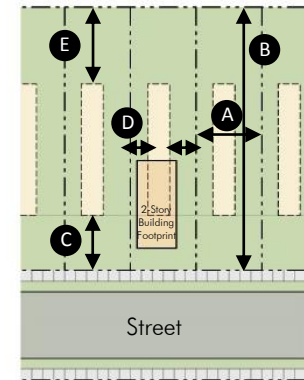




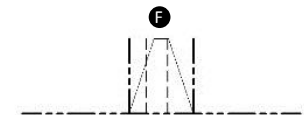
# Borough Zoning – R-4 District



**Typical Lot Diagram**



**Height-Setback Diagram**



## Zoning Schedule

	Req.	Typ.	
<b>Lot Dimensions</b>			
Lot Area (SF)	6,000	3,600	
Lot Width (ft)	60	30	A
Lot Depth (ft)	100	120	B
<b>Setbacks</b>			
Front Yard (ft)	25		C
Side Yard (Smaller)	8		D
Side Yard (Combined)	20		
Rear Yard (ft)	35		E
Height-Setback Ratio	3:1	35' Max.	F
<b>Coverage/FAR</b>			
Max. FAR	0.40	1,440 SF	



LOT 105, BLOCK 15.02  
PRINCETON HOUSING AUTHORITY

N 80°34'00" E 39.90'

LOT 67  
3,591 SF

LOT 66  
BLOCK 15.02

2 STORY

EXISTING FRAME DWELLING

1 STORY

S 80°34'00" W 39.90'

LYTLE STREET

(44 FOOT RIGHT OF WAY)

EXISTING CONDITIONS

#### LEGEND

- DENOTES EXIST. CONTOUR
- DENOTES PROP. CONTOUR
- DENOTES PROP. ELEVATION TO TOP OF CURB
- DENOTES OVERHEAD SERVICE SERVICE (ELEC, TELE, CATV)
- DENOTES PROP. WATER SERVICE
- DENOTES PROP. SANITARY SEWER LATERAL
- DENOTES PROP. PORTABLE TOILET LOCATION

#### SIDE YARD TO HEIGHT DETAIL

#### ZONING TABLE: R-4 RESIDENTIAL DISTRICT

REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SF.)	6,000	3,591 <sup>1</sup> 3,591 <sup>2</sup>
MINIMUM LOT WIDTH (FT)	60	30.90 <sup>1</sup> 30.90 <sup>2</sup>
MINIMUM LOT DEPTH (FT)	100	90.0 <sup>1</sup> 90.0 <sup>2</sup>
MINIMUM BUILDING SETBACKS:		
FRONT (FT)	25	6.1 <sup>1</sup> 9.5 <sup>2</sup>
COMBINED SIDE (FT)	12	11.0 <sup>1</sup> 12.0 <sup>2</sup>
SMALLER SIDE (FT)	8	1.0 <sup>1</sup> 8.2 <sup>2</sup>
REAR (FT)	35	41.8 38.3
MAXIMUM BUILDING HEIGHT (FT.)	35	28.0 24.5 <sup>2</sup>
BUILDING HEIGHT TO SIDE YARD RATIO	3.0:1	20.0:1.0 3.0:1.0
MAXIMUM COVERAGE (%)	30	28.2 25.6
MAXIMUM BUILDING F.A.R. (%)	40 (98) <sup>1</sup>	52.3 44.8

1. Prevailing network of R-4 is used as provided by the Princeton Engineering Department
2. See calculated proportional FAR Calculation for maximum allowable

#### IMPERVIOUS COVERAGE COMPUTATION

##### EXISTING COVERAGE BREAKDOWN

2 Story House Footprint w/overhang	=	988.0 sq. ft.
Basement	=	10.0 sq. ft.
Concrete Porch/Steps/Walk Footprint	=	72 sq. ft.
Driveway	=	491 sq. ft.
<b>Total Existing Coverage</b>	<b>=</b>	<b>1,561 sq. ft.</b>
1,561 sq. ft. / 3,591 sq. ft. =		43.7%

##### PROPOSED COVERAGE BREAKDOWN

2 Story House Footprint w/overhang	=	984.0 sq. ft.
Basement	=	38 sq. ft.
Concrete Porch/Steps/Walk Footprint	=	72 sq. ft.
Driveway	=	360 sq. ft.
<b>Total Proposed Coverage</b>	<b>=</b>	<b>1,352 sq. ft.</b>
1,352 sq. ft. / 3,591 sq. ft. =		37.7%

#### FAR CALCULATION

EXISTING	PROPOSED
First Floor House Footprint = 988 sq. ft.	First Floor House Footprint = 980 sq. ft.
Second Floor House Footprint = 879 sq. ft.	Second Floor House Footprint = 850 sq. ft.
Total Existing Floor Footprint = 1,877 sq. ft.	Total Proposed Floor Footprint = 1,830 sq. ft.
1,877 sq. ft. / 3,591 sq. ft. =	1,830 sq. ft. / 3,591 sq. ft. =
52.3%	51.0%

Proportional FAR Calculation:  
 $(1 + (\text{Required Lot Area} - \text{Actual Lot Area}) / (\text{Required Lot Area}) \times 0.4)$   
 $(1 + ((6,000 \text{ sf} - 3,591 \text{ sf}) / (6,000 \text{ sf})) \times 0.4) = 0.56$

LOT 105, BLOCK 15.02  
PRINCETON HOUSING AUTHORITY

N 80°34'00" E 39.90'

LOT 67  
3,591 SF

LOT 66  
BLOCK 15.02

2 STORY

EXISTING FRAME DWELLING

1 STORY

S 80°34'00" W 39.90'

LYTLE STREET

(44 FOOT RIGHT OF WAY)

PROPOSED CONDITIONS

CONSTRUCTION DRAWINGS  
APPROVED

DATE

4/12/2016  
Gard & Eggs, Inc.

#### PLAN NOTES:

1. DEED BOOK 6017, PAGE 449
2. THE CONDITIONS SHOWN ON THIS PLAN ARE FOR A FIELD SURVEY PERFORMED ON 2/17/2016 BY PRINCETON JUNCTION ENGINEERING, P.C.
3. THE PROPOSED DWELLING SHALL BE SERVED BY UNDERGROUND UTILITIES FOR ELECTRIC, TELEPHONE AND TV
4. THE EXISTING IMPROVEMENTS SHALL BE REMOVED
5. ANY DAMAGE TO EXISTING CURBS, WALKS OR DRIVE APRON DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED IN ACCORDANCE WITH MUNICIPAL ENGINEER'S REQUIREMENTS
6. ALL PAVEMENT RESTORATION TO BE IN ACCORDANCE WITH MUNICIPAL ENGINEER'S REQUIREMENTS
7. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE FINAL CONSTRUCTION PLANS AS APPROVED BY THE MUNICIPAL ENGINEER
8. THE PROPOSED ROOF DRAIN CONNECTION SHALL USE INSERTATIVE OR APPROVED EQUAL AS APPROVED BY THE MUNICIPAL ENGINEER, SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS

#### TREE REPLACEMENT

- 2 REPLACEMENT TREES HAVING A CALIPER OF 2-10" SHALL BE PLANTED TO REPLACE THE TREES TO BE REMOVED. THE REPLACEMENT TREES SHALL BE AT LEAST 30% NATIVE SPECIES AND THE PLANTING LOCATIONS SHALL BE APPROVED BY PRINCETON ABBOTTS.

RECEIVED

APR 21 2016

Princeton  
Zoning / Engineering

- | No. | Date    | Description  |
|-----|---------|--|
| 4.  | 4/25/16 | PER MEETING ON 4/22/16 W/PRINCETON ENGINEERING DEPT                            |
| 5.  | 4/18/16 | PER REVIEW EMAIL 4/14/16 & PHONE CONVERSATION WITH PRINCETON ENGINEERING DEPT. |
| 6.  | 4/8/16  | PER PRINCETON ENGINEERING DEPT. REVIEW EMAIL 4/7/16                            |
| 7.  | 3/25/16 | PER PRINCETON ENGINEERING DEPT. REVIEW EMAIL 3/24/16                           |

File #  
REVISIONS:



Princeton Junction Engineering, P.C.  
Professional Engineers, Land Surveyors and Planners  
P.O. Box 610 - 53 North Post Road  
Princeton Junction, New Jersey 08550  
Telephone: 609-799-1900 Facsimile: 609-799-1534 Email: pje@pje.com

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Kevin M. Brakel  
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Practicing Engineer  
No. 32112  
Date: 4/29/16

Frank J. Falcone  
Princeton Junction Engineering, P.C.  
Practicing Engineer  
No. 32112  
Date: 4/29/16

BUILDING PERMIT PLAN  
PROPOSED SINGLE FAMILY  
RESIDENCE

Sheet 1 of 2



# Next Steps